

JOINT ARCHITECTURAL BOARD/PLAN COMMISSION AGENDA
MONDAY, MARCH 18, 2024
6:30 PM
BOARD ROOM, MUNICIPAL BUILDING, 210 COTTONWOOD

Roll Call

Public Comments: Please be advised the Joint Architectural Board/Plan Commission will receive comments from the public related to any item(s) on the agenda for a three-minute time period per person, with time extensions per the Chairman's discretion.

1. Consideration of a motion to approve the Jt. Architectural Board/Plan Commission minutes of the February 19, 2024 meeting.
2. Plan Commission review and consideration of a Certified Survey Map for the Eskau property, 513 Memory Lane, Hartland.
3. Architectural Board review and consideration of an application for signage for Kwik Trip, Hwy 83 & Capitol Drive.
4. Architectural Board review and consideration of an application for signage for Merge Healthcare Solutions Inc., 900 Walnut Ridge Drive.
5. Architectural Board review and consideration of an application for signage for Mosaic Health, 139 Cottonwood Avenue.
5. Plan Commission review of Conditional Use Permit and Business Occupancy permit applications for ib26LLC, 704-706 Rose Drive.
 - a. **Public hearing** for consideration of Conditional Use request
 - b. Consideration of a motion to recommend approval of Conditional Use Permit and Business Occupancy
6. Initial Plan Commission review of Conditional Use Permit and Business Occupancy permit applications for SD Hartland, Inc., 805 Cardinal Lane (Mobile Gas Station).
 - a. Consideration of a motion to set a public hearing on April 15, 2024.
7. Conceptual review of senior living development on Campus Drive.
8. Announcements: The following individuals will be given an opportunity to make announcements at the meeting in regard to (1) activities taken since the previous meeting on behalf of the community, (2) future municipal activities, and (3) communications received from citizens. It is not contemplated that these matters will be discussed or acted upon. The following individuals may provide announcements: Village President or individual Village Board members or Village Administrator or other Village Staff members.
9. Adjourn.

Ryan Bailey, Village Manager

accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Sandee Policello, Village Clerk, at 262-367-2714. The Municipal Building is handicap accessible. To participate in the Village of Hartland "Zoom" meeting with video, <https://us02web.zoom.us/j/81219059805?pwd=QkRtVXNkamo1UzhYaTZwSWFZTmPadz09> The Meeting ID is 812 1905 9805 Passcode is 356902. To participate in the Village of Hartland "Zoom" meeting (audio only), please dial 1(312)626-6799.

JOINT ARCHITECTURAL BOARD/PLAN COMMISSION MINUTES
MONDAY FEBRUARY 19, 2023
6:30 PM
BOARD ROOM
MUNICIPAL BUILDING, 210 COTTONWOOD AVE.

Present: Jeff Pfannerstill, Jeff Bierman, Ann Wallschlager, Tim Hallquist, Chip Schneeberger and David DeCourcy-Bower. Dino Xykis joined via Zoom at 7:07pm.

Others Present: Village Manager Bailey, Ryan Amtmann, Scott Hussinger, William East, and Deputy Clerk Bushey.

Call to Order- 6:30 pm

Roll Call taken.

Public Comments: Please be advised the Joint Architectural Board/Plan Commission will receive comments from the public related to any item(s) on the agenda for a three-minute time period per person, with time extensions per the Chairman's discretion.

Val Wisnewski Renson Rd – commented on St. Charles parking lot lights being on 24/7 and would like to know the timeline for the replacement of trees that were removed at St. Charles.

1. Consideration of a motion to approve the Architectural Board/Plan Commission minutes of the January 15, 2024, regular meeting-

Motion (Wallschlager/Schneeberger) to approve the minutes for the January 15, 2024, regular meeting. Carried (5-0) with 1 abstention, Hallquist.

2. Plan Commission review and consideration of an Extraterritorial Certified Survey Map for the Roy property, W298N2808 Shady Lane, Town of Delafield.

President Pfannerstill reminded everyone that the Village of Hartland is allowed to review CSM's within a mile and a half outside of our boundaries. Building Inspector Hussinger said he has no concerns, and it will not adversely affect Hartland.

Motion (DeCourcy-Bower/Hallquist) to approve the Extraterritorial Certified Survey Map for W298 N2808 Shady Lane, Town of Delafield. Carried. (6-0).

3. Architectural Board review and consideration of an application for signage for Valvoline Instant Oil Change, 425 E. Industrial Dr.

Benjamin Hogan from Badger lighting and signs was present to explain the signage. They are removing the current signage and have a temporary banner covering the old Citgo logo and the small monument sign. He said they will be changing it to a shorter version but still covering the same wall, he said they will be putting in less signage. The monument sign they will be using the existing monument but with new plastic faces. Hussinger asked if there will be any additional signage and it was stated no. Wallschlager asked if it is illuminated, and it was stated yes. Wallschlager asked what hours the sign is on, and Mr. Hogan said he did not. ow. Discussion on plantings around the base of the signage. Hussinger said that

is a standard that maybe the previous owner did not have to abide by it because he had been there for so long, but it is our village standard to landscape or soften a ground signed base.

Discussion on the base sign and plantings.

Motion (DeCourcy-Bower/Schneeberger) to approve the signage application for Valvoline Instant Oil Change, 425 E. Industrial Dr. with the illumination being turned off at 10pm and on after 5am.

Wallschlager made a motion to amend the motion to add shrubbery to the post signs. Hallquist asked if those signs were directional signs, and it was stated yes. Motion died due to lack of a second.

Original motion stands. Carried. (6-0).

4. Architectural Board review and consideration of an application for signage for Brookfield Cardiovascular Associates, 625 Walnut Ridge Dr.

Motion (Pfannerstill/Hallquist) to table this item indefinitely. Carried (6-0).

5. Architectural Board review and consideration of an application for signage for Landmark Credit Union, 801 Cardinal Lane.

Sean Relkin for Innovative signs was present via zoom and explained it is a rebranding and everything is a reface except for the raceway letter set they are swapping in is slightly smaller letter size.

No new signs and no additional signage being added. Building Inspector Hussinger said he just wants to make sure it is understood that there are no new signs being proposed because there are a lot of signs being swapped out. He said if there are any new signs the applicant needs to point that out. Mr. Relkin said it is just a reface. He said there are a lot of signs being swapped out and Mr. Relkin said it is just a rebranding.

Hussinger asked what type of illumination it will be. Mr. Relkin said it will be LED illuminated and any monument lighting that is currently fluorescent will be upgraded to LED. Schneeberger asked the hours of lighting. Mr. Relkin said he is not sure but there will be no change from the current hours of lighting.

Motion (DeCourcy-Bower/Wallschlager) to approve the application for signage with illumination of the lights to be turned off at 10pm. Carried (6-0).

6. Architectural Board review and consideration of public art plan by Arrowhead High School students and Hartland BID-

Kristyn Smith, the Director of the Hartland BID, and students from Arrowhead High School were present to present their idea for the public art plan. Ms. Smith said they are seeking approval of the sign only and the installation will have to follow. She commented on other communities that have public art and said that she thinks Hartland needs to stay relevant and stay current. She said the public art will be designed and manufactured by Warhawk manufacturing from start to finish. Jeff Luetschwager, a teacher from Arrowhead H.S. was present and explained the Engineering Design and Development class and the Warhawk Manufacturing class he teaches at Arrowhead H.S. He said the Hartland BID approached them this summer about the project and he explained the project. 3 students involved in the project were present and explained the design. Pack Davis explained that the letters will be from 3-4 ft depending on

the letter or shape with the width of the letters being 12 inches. The letters will be made of brushed stainless steel and the heart will be powder coated with a red coat of paint. There is proposed lighting for the design dependent on the location. Mr. Luetschwager said they are looking for the Village of Hartland to provide the concrete and anchor bolts. He also said one of the potential locations has a light pole there and they are looking at possibly pulling power from there. Student Nicole Boudreau explained the 3 potential sites they are looking at, 1st site is corner at Hill and Cottonwood, 2nd site is corner at Cottonwood and Capitol Drive and the 3rd site is near the parking lot by Klink Karpets off of North Ave. Brief discussion on the locations. Village Manager said tonight's focus is not on the location but the approval of the design. Wallschlager wanted to clarify that they want the Village to do the concrete, bolts and the lighting and Ms. Boudreau said that is correct. Bailey asked them to come up with a solution for any graffiti that may happen. Student Matthew Schmieding explained the social media aspect of taking pictures with the design and the amount of feet that would be needed. Bailey pointed out that the BID is paying for a lot of the design, parts, pieces etc. They are looking to have the dedication possibly around Hometown Celebration.

Motion (Hallquist/Schneeberger) to approve the Public Art Plan by Arrowhead H.S. students and the Hartland BID. Carried (7-0).

7. Plan Commission review and consideration of a request for Conditional Use Permit and Business Occupancy for Performance Pickleball of Wisconsin, 528 S. Industrial Drive-

- a. Public Hearing for consideration of Conditional Use request-
Public Hearing was opened at 7:09 pm. There were no comments, so the Hearing was closed at 7:09 PM.
- b. Consideration of a motion to recommend approval of Conditional Use Permit and Business Occupancy.

William East was present and explained that they are trying to build a court for pickleball. Hallquist said the current location used to be used for soccer. Hussinger asked if there will be any spectators or will it only be members. Mr. East said it is membership base. Hussinger asked that Mr. East reach out to the Fire Dept. for the annual inspection.

Motion (Wallschlager/Schneeberger) to approve the Conditional Use and Business Occupancy for Performance Pickleball of Wisconsin, with the stipulation that Mr. East schedules the annual inspection with the Fire Dept. Carried. (7-0).

8. Plan Commission and Architectural Board review and consideration of Kwik Trip, a proposed PUD development ("Project") whose approval and rezoning are being sought by Kwik Trip on property tax key HAV0730950 located on Highway 83 & W. Capitol Drive. For review and consideration:

- a. Proposed certified survey map:
- b. Proposed rezoning to B-2 in conjunction with a PUD agreement for the Project:

Motion (de Courcy-Bower/Schneeberger) to table the Kwik Trip agenda item until later in the meeting. Carried (7-0).

9. Initial Plan Commission review of Conditional Use Permit and Business Occupancy permit applications for ib26 LLC, 704-706 Rose Drive.

a. Consideration of a motion to set a public hearing on March 18, 2024.

A representative for ib26LLC said Ian Bennet was out of town and explained that Ian is a professional soccer player with Milwaukee Wave, and he works with high level student athletes.

Motion (Hallquist/de Courcy-Bower) to set the Public Hearing for ib26 LLC for March 18, 2024. Carried (7-0).

10. Conceptual review of Gideon Farms on property currently in the Town of Merton-

Andy Gale was present to explain the conceptual review. The parcel is a 40-acre farm, and the intent is to keep 35 acres agricultural and develop the 5 acres that currently have buildings and develop one of the buildings that would largely be farm to fork restaurant. Several buildings are proposed in 4 phases, first phase would be coffee shop and ice cream shop. The second phase would be to convert the existing barn into a restaurant. Third phase will be what is considered a micro dairy which is not milking cows, but a USDA facility and raw milk will be brought in from local farms and converting that milk into drinkable milk, ice cream mix and butter for use on site, for sale on site. The USDA facility will also be available for tour groups for schools to realize what food manufacturing looks like. The last phase would be future retail. Mr. Gail said it is currently in the town of Merton but is looking into annexation to the Village of Hartland in the future. Mr. Gale said this is a 10-year plan.

Break taken at 7:34 pm.

The meeting resumed at 7:37 pm.

11. Plan Commission and Architectural Board review and consideration of revised plans for an addition of an attached garage and storage area on St. Charles Congregation property, 313 Circle Dr-

Village Manager Bailey said this has gone before the Plan Commission and Village Board previously for approval which included moving the garbage pickup to inside the garage but that proved too difficult for them functionally and for various reasons it would cost them more. Brian Wittman from Pen & Hammer LLC, said the plan for the garage was taken, shrunken, and taken to the east to make room for adding the dumpster enclosure. The dumpster enclosure fence is flush with the face of the garage addition. Mr. Wittman said the enclosure will still have brick on the west side so from the street view it would still be a brick enclosure with a metal gate on the front and in the back, it would have a gate and a little bit of fence which cannot be seen from the street.

DeCourcy-Bower commented that he appreciated the applicant coming back with a revised plan. He said it looks architecturally better.

Motion (Hallquist/Wallschlager) to approve the revised plans for an addition of an attached garage and storage area on St. Charles congregation property, 313 Circle Drive. Carried (7-0).

**Motion (Wallschlager/DeCourcy-Bower) to move agenda item #8 off the table and put it in action. Carried. (7-0).

Plan Commission and Architectural Board review and consideration of Kwik Trip, a proposed PUD development (“Project”) whose approval and rezoning are being sought by Kwik Trip on property tax key HAV0730950 located on Highway 83 & W. Capitol Drive. For review and consideration:

Village Attorney de la Mora was present and explained that with the PUD agreement it is substantially complete except for the verification of the insertion of the latest exhibits which have been outlined in the Ruekert & Mielke that the Plan Commissioners had received. He said Kwik Trip has been very cooperative and accommodating. He said one thing the Plan Commissioners should keep in mind is that Kwik Trip will be taking the lead and be responsible for the improvement of the roadway even though it is going to be an offsite project for both the Kwik Trip project and Quarry project. He went on to say it is his understanding that they have received an early start permit with regards to the removal of the existing soil there to bring it down to a level that will be compatible with the ultimate site plan design. Pfannerstill clarified that when Attorney de la Mora says “they’ he is referring to Kwik Trip. Hallquist said there are a number of bullet points in Ruekert & Mielke’s memo and asked when will the Plan Commissioners have that information. De la Mora said the representative can provide that information, but it will be necessary to have that in hand before the document is executed. Bried discussion on the PUD agreement.

DeCourcy-Bower commented that it is very common whenever you are redeveloping a piece of property that was used for something else like in this case it used to be a quarry and it is filled in with some other stuff, it is very common that part of that process you evaluate the site the DNR gets involved to make sure that if there are any type of impacts to the property they are taken care of properly. He said the redevelopment to that property accounts for and makes sure the public is not exposed to things they are not supposed to be.

Hussinger said there is a lot going on, the rezoning, the PUD, the final site plan key elements, that is just being tweaked. He said there is a signage package that is substantial that the Plan Commission has not seen yet, so there is a lot of stuff that’s not complete yet. He went on to say he is not going to release a building permit until everyone is satisfied. He said all department heads will have to review it.

a. Proposed certified survey map:

Motion (Hallquist/DeCourcy-Bower) to approve the proposed certified survey map. Carried. (7-0).

b. Proposed rezoning to B-2 in conjunction with a PUD agreement for the Project:

Attorney de la Mora explained the reason they need a PUD is that they have an exceptionally high sign, what they have done is remove the soil from highest point down to level where they’re going to have the basic store and car wash, then they are going to add 30 ft from that point up. He said basically it is going to be a 50 ft. to basically advertise that particular location, which will be open 24/7.

Motion (Hallquist/DeCourcy-Bower) to approve the proposed rezoning to B-2 in conjunction with the PUD agreement contingent on the bullet points necessary from Ruekert & Mielke on the memo dated February 14, 2024, and the other items in the packet. Carried. (7-0).

12. Announcements-

None.

13. Adjourn-

Motion (DeCourcy-Bower/Wallschlager) to adjourn. Carried (7-0).

Adjourned at 8:02 pm.

Respectfully submitted by

Recording Secretary,
Deidre Bush y, Deputy Clerk

Pd 2/28/24
recpt # 253926

VILLAGE OF HARTLAND
PETITION FOR LAND DIVISION:

EXTRATERRITORIAL PLAT REVIEW - \$100

CSM (Certified Survey Map) + \$300 Professional Fee Deposit
or

PRELIMINARY PLAT REVIEW + \$1,000 Professional Fee Deposit

Up to Five Parcels - \$150.00
Six to Fourteen Parcels - \$300.00
Fifteen or More Parcels - \$500.00

Reapplication for Approval of Any Preliminary
Plat Requiring Review \$50.00 (Minimum)
Reapplication for Previously Reviewed Plat \$10.00

FINAL PLAT REVIEW

\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
\$10.00 for Reapplication of Any Final Plat Previously Reviewed

Date:	Fee Paid:
Date Filed:	Receipt No.:

1. Name: John K Eskau Revocable Living Trust of 2016 Attn: John Eskau

Address of Owner/Agent: 513 Memory Lane, Hartland, WI 53029-1505

Phone Number of Owner/Agent: 262-367-6346

2. Give complete legal description of property to be considered. (Attach a separate sheet with description and label sheet "Exhibit A").

3. State present use of property and intended use.
Single family residential and will continue to be single family residential. Purpose of the CSM is to combine the two lots into one.

John K Eskau
Signature of Petitioner

513 Memory Lane, Hartland, WI 53029-1505
Address

262-367-6346
Phone

Surveyor/Engineer
Anthony Zanon
Pinnacle Engineering Group
262-754-0839
tony.zanon@pinnacle-engr.com



NOTE:

- a. Include a Plat Map in triplicate, drawn to a scale of not less than 100 ft. to the inch, showing the land in question, its location, the length and direction of each boundary thereof.
- b. Include fee payable to **The Village of Hartland**

**CSM fees + \$300 Professional Fee Deposit
Or
Preliminary Plat Review Fees + \$1,000 Professional Fee Deposit**

Up to Five Parcels	\$150.00
Six to Fourteen Parcels	\$300.00
Fifteen or More Parcels	\$500.00

Reapplication for Approval of Any Preliminary Plat Requiring Review	\$50.00 (Minimum)
Reapplication for Previously Reviewed Plat	\$10.00

Final Plat Review Fees:

**\$10.00 Plus \$1.00 for Each Parcel Within the Final Plat
\$10.00 for Reapplication of Any Final Plat Previously Reviewed**

- c. Mail or deliver request, in triplicate, to:

**Village of Hartland
Village Clerk
210 Cottonwood Avenue
Hartland, WI 53029**

- d. **Extraterritorial Plat Review Fee: \$100**

Submit plat and \$100 fee to:

**Village of Hartland
Village Clerk
210 Cottonwood Avenue
Hartland, WI 53029**

RE: John K Eskau Revocable Living Trust of 2016

Proposed Certified Survey Map to combine two lots

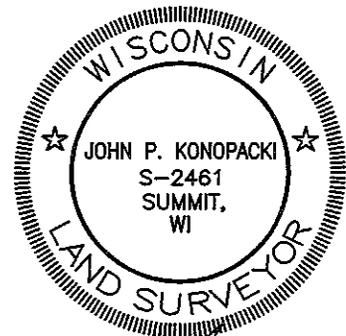
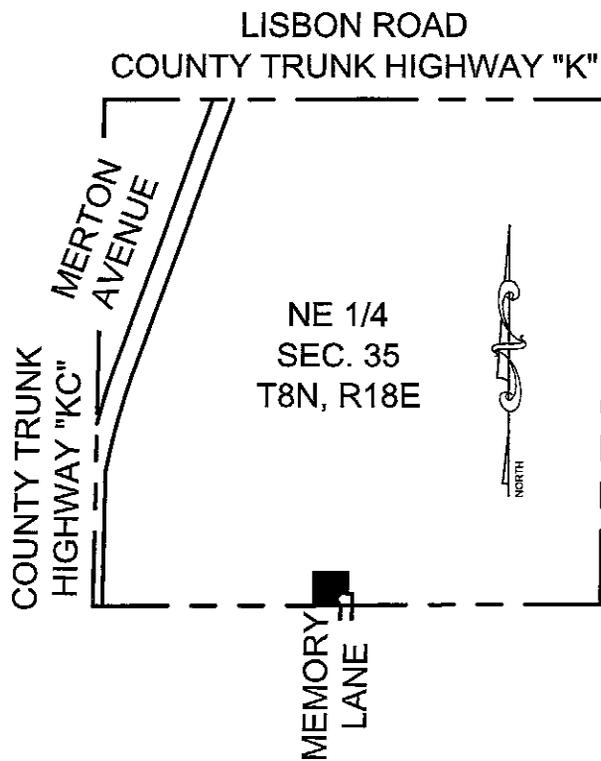
Legal Description:

Parcel 1 and Parcel 2 of Certified Survey Map No. 8223, as recorded in the Register of Deeds office for Waukesha County as Document No. 2194106, in the Southwest 1/4 of the Northeast 1/4 of Section 35, Township 8 North, Range 18 East, Village of Hartland, Waukesha County, Wisconsin.

CERTIFIED SURVEY MAP NO. _____

Being Parcel 1 and Parcel 2 of Certified Survey Map No. 8223, in the Southwest 1/4 of the Northeast 1/4 of Section 35, Township 8 North, Range 18/ East, Village of Hartland, Waukesha County, Wisconsin.

VICINITY SKETCH
SCALE 1"=1000'



FEBRUARY 28, 2024

Subject Property
Zoning: RS-5
Tax Key Numbers:
HAV 0425963003
HAV 0425963004

NOTES:

- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- Coordinates referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1983/2011). Bearings referenced to the north line of the Northeast 1/4 of Section 35, Township 8 North, Range 18 East which has a bearing of S89°51'53"W.

Prepared for:
John K Eskau Revocable Living Trust
of 2016
513 Memory Lane
Hartland, WI 53029

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

DRAFTED BY: ST
PEG JOB#5478.00
SHEET 1 OF 5

CERTIFIED SURVEY MAP NO. _____

Being Parcel 1 and Parcel 2 of Certified Survey Map No. 8223, in the Southwest 1/4 of the Northeast 1/4 of Section 35, Township 8 North, Range 18/ East, Village of Hartland, Waukesha County, Wisconsin.



FEBRUARY 28, 2024

LEGEND:

- - Denotes Found 1" Iron Pipe
- (R) - Denotes "Recorded As"

NW CORNER, NE 1/4
SEC. 35, T8N, R18E
(FOUND CONC. MON.
W/ BRASS CAP)

NE CORNER, NE 1/4
SEC. 35, T8N, R18E
(FOUND CONC. MON. W/ BRASS CAP)
N=412,571.54; E=2,416,251.02
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE)

S89°51'53"W 2644.59'
NORTH LINE OF THE NE 1/4 SEC. 35, T8N, R18E

WEST LINE OF THE NE 1/4 SEC. 35, T8N, R18E
S01°06'52"W 2649.27'

OWNER: HOTZ
LOT 1 - BLOCK 8
HILGER FARMS

TAX KEY #
HAV 0425072

(REMNANT)
LOT 3 - BLOCK 8
HILGER FARMS

(PART OF)
LOT 3 - BLOCK 8
HILGER FARMS

TAX KEY #
HAV 0425075

OWNER: MARTIN

LOT 4 - BLOCK 8
HILGER FARMS

N89°46'01"E 173.99'

LOT A
C.S.M. NO. 1486
TAX KEY #
HAV 0425963001
OWNER: GIESE

LOT B
C.S.M. NO. 1486
TAX KEY #
HAV 0425963002
OWNER: PETER J
AND DALE L
NEJEDLO 2020
LIVING TRUST

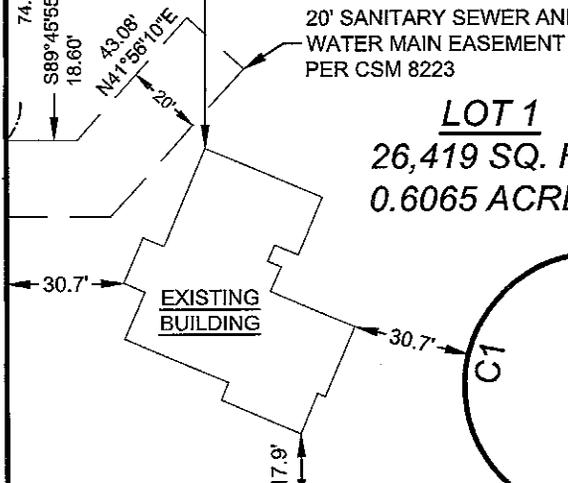
((R) N89°45'58" W 1160.81')
N89°46'01"E 1160.94'

SOUTH LINE OF THE NE 1/4
SEC. 35, T8N, R18E
N89°46'01"E 2662.68'

LOT 12
DAVIS HEIGHTS
SUBDIVISION
TAX KEY #
HAV 0428012
OWNER: SARAH SMITH

LOT 13
DAVIS HEIGHTS
SUBDIVISION
TAX KEY #
HAV 0428013
OWNER: BALKMAN
FAMILY TRUST

LOT 1
26,419 SQ. FT.
0.6065 ACRES



OUTLOT 1
BRISTLECONE
PINES

TAX KEY #
HAV 0430184

OWNER: THE
LEGEND AT
BRISTLECONE
PINES LLC

S00°55'21"W 110.04'
((R) S00°55'18"W CSM 8223)
((R) S00°55'18"W PLAT)

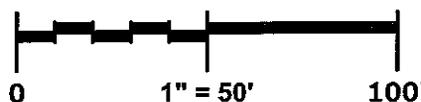
SE CORNER, NE 1/4
SEC. 35, T8N, R18E
(CORNER 1' BELOW
PUTTING GREEN
BRISTLECONE PINES
GOLF COURSE)

27'
MEMORY LANE

S89°46'01"W 137.46'
((R) S89°45'58"W CSM 8223)
((R) S89°50'W PLAT)

SW CORNER, NE 1/4
SEC. 35, T8N, R18E
(FOUND IRON ROD)

GRAPHICAL SCALE (FEET)



Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#5478.00
SHEET 2 OF 5

CERTIFIED SURVEY MAP NO. _____

Being Parcel 1 and Parcel 2 of Certified Survey Map No. 8223, in the Southwest 1/4 of the Northeast 1/4 of Section 35, Township 8 North, Range 18/ East, Village of Hartland, Waukesha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed and mapped Parcel 1 and Parcel 2 of Certified Survey Map No. 8223, as recorded in the Register of Deeds office for Waukesha County as Document No. 2194106, in the Southwest 1/4 of the Northeast 1/4 of Section 35, Township 8 North, Range 18/ East, Village of Hartland, Waukesha County, Wisconsin, described as follows:

Commencing at the southwest corner of the Northeast 1/4 of said Section 35; thence North 89°46'01" East along the south line of said Northeast 1/4, 1160.94 feet to the Point of Beginning;

Thence North 00°13'59" West along the east line of Certified Survey Map No. 1486, 170.00 feet to the south line of Block 8 of Hilger Farms Subdivision, a recorded plat;

Thence North 89°46'01" East along said south line of Block 8, 173.99 feet to the west line of Outlot 1 of Bristlecone Pines, a recorded subdivision;

Thence South 00°55'21" West along said west line of Outlot 1, 110.04 feet to the right of way line of Memory Lane and a point on a curve;

Thence southwesterly 108.54 feet along the arc of a curve to the left, whose radius is 34.55 feet and whose chord bears South 29°32'03" West, 69.10 feet to the aforesaid south line of the Northeast 1/4;

Thence South 89°46'01" West along said south line, 137.46 feet to the Point of Beginning;

Containing 26,419 square feet (0.6065 acres) of land Gross, more or less.

That I have made such survey, land division and map by the direction of JOHN K ESKAU REVOCABLE LIVING TRUST OF 2016, owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the Village of Hartland Land Division Ordinance in surveying and mapping the land within the certified survey map.

Date: FEBRUARY 28, 2024




John P. Konopacki
Professional Land Surveyor S-2461

CURVE DATA

CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT IN	TANGENT OUT
C1	108.54'	34.55'	180°00'00"	S29°32'03"W	69.10'	N60°27'57"W	S60°27'57"E
(RECORDED)	(108.48')	(34.53')	(180°00'00")	(S29°27'59"W)	(69.06')		

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#5478.00

SHEET 3 OF 5

CERTIFIED SURVEY MAP NO. _____

Being Parcel 1 and Parcel 2 of Certified Survey Map No. 8223, in the Southwest 1/4 of the
Northeast 1/4 of Section 35, Township 8 North, Range 18/ East, Village of Hartland,
Waukesha County, Wisconsin.

OWNER'S CERTIFICATE OF DEDICATION

JOHN K ESKAU REVOCABLE LIVING TRUST OF 2016, as owner, hereby certifies that we caused the land described on this map to be surveyed, divided and mapped as represented on this map in accordance with the requirements of the Village of Hartland.

JOHN K ESKAU REVOCABLE LIVING TRUST OF 2016, as owner, does further certify that this certified survey map is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval:

1. Village of Hartland

IN WITNESS WHEREOF, the said JOHN K ESKAU REVOCABLE LIVING TRUST OF 2016 has caused these presents to be signed by (name - print) _____, (title) _____, at (city) _____, _____ County, Wisconsin, on this _____ day of _____, 2024.

In the presence of: JOHN K ESKAU REVOCABLE LIVING TRUST OF 2016

Name (signature) - Title

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 2024, (name) _____, (title) _____ of the JOHN K ESKAU REVOCABLE LIVING TRUST OF 2016, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____



FEBRUARY 28, 2024

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEGJOB#5478.00

SHEET 4 OF 5

CERTIFIED SURVEY MAP NO. _____

Being Parcel 1 and Parcel 2 of Certified Survey Map No. 8223, in the Southwest 1/4 of the
Northeast 1/4 of Section 35, Township 8 North, Range 18/ East, Village of Hartland,
Waukesha County, Wisconsin.

PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the Village of Hartland on this _____ day of _____, 2024.

Date

Jeffrey Pfannerstill, Chairman

Date

Santee Policello, Village Clerk

VILLAGE BOARD APPROVAL

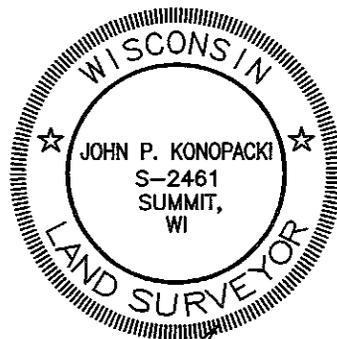
Approved by the Village Board of the Village of Hartland, Wisconsin, on this _____ day of _____, 2024.

Date

Jeffrey Pfannerstill, Village President

Date

Santee Policello, Village Clerk




FEBRUARY 28, 2024

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

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PEGJOB#5478.00

SHEET 5 OF 5



The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes:

Printed: 2/29/2024



CHARLES & BERTHA MARTIN
1223 MARQUETTE RD
HARTLAND, WI 53029-1227

DAVE & KAREN KLUFT
620 OAKWOOD DR
HARTLAND, WI 53029-1238

FRANCIS J GIESE
548 OAKWOOD DR
HARTLAND, WI 53029-1518

JOHN K ESKAU REVOCABLE LIVING
TRUST OF 2016
513 MEMORY LN
HARTLAND, WI 53029-1505

SARAH SMITH AND JENNY JONES
1216 SUNNYSLOPE DR
HARTLAND, WI 53029-1517

JOHN R HOTZ AND CHRISTIE L HOTZ
606 OAKWOOD DR
HARTLAND, WI 53029-1238

MICHAEL LECHER AND GLORIA LECHER
506 OAKWOOD DR
HARTLAND, WI 53029

PETER J AND DALE L NEJEDLO 2020
LIVING TRUST
520 OAKWOOD DR
HARTLAND, WI 53029-1518

ROGER J BALKMAN & CALUDIA L
BALKMAN FAMILY TRUST
503 MEMORY LN
HARTLAND, WI 53029-1505

THE LEGEND AT BRISTLECONE PINES LLC
1 LEGEND WAY
WALES, WI 53183

KT 1283

Signs #1, #3, #4

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION State Hwy 83 TAX KEY # HAV 0730950
 OWNER Kwik Trip PHONE 608-793-6034
 ADDRESS 1626 Oak St CITY La Crosse STATE WI ZIP 54603
 CONTRACTOR La Crosse Sign Group PHONE 608-781-1450
 ADDRESS 1450 Oak Forest Dr CITY Onalaska STATE WI ZIP 54650

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

#1 Kwik Trip
 #3 Kwik Trip Carwash
 #4 Kwik Trip

OVERALL DIMENSIONS OF SIGN #1 + #4 - 2' x 12' 13/16" COLOR OF BACKGROUND _____
#3 - 3'6" x 11'3"

SIZE OF LETTERS IN INCHES #1 + #4 - 24" COLOR OF LETTERS Red
#3 - 24" + 18"

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Aluminum returns, acrylic face LED lighting

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ Total project = \$96,500

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Kelly J Voegelé DATE 2/8/2024

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

Sign #2

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION State Hwy 83 TAX KEY # HAV 0730950
 OWNER Kwik Trip PHONE 608-793-6034
 ADDRESS 1626 Oak St CITY La Crosse STATE WI ZIP 54603
 CONTRACTOR La Crosse Sign Group PHONE 608-781-1450
 ADDRESS 1450 Oak Forest Dr CITY Onalaska STATE WI ZIP 54650

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:
Access to Carwash

OVERALL DIMENSIONS OF SIGN 1' x 4' COLOR OF BACKGROUND Red
 SIZE OF LETTERS IN INCHES 4-5" COLOR OF LETTERS white

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Aluminum, Vinyl letters

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ _____

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Kelly J Voegelé DATE 2/8/2024

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

Signs #5, #6

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION	State Hwy 83	TAX KEY #	HAV 0730950
OWNER	Kwik Trip	PHONE	608-793-6034
ADDRESS	1626 Oak St	CITY	La Crosse
		STATE	WI
		ZIP	54603
CONTRACTOR	La Crosse Sign Group	PHONE	608-781-1450
ADDRESS	1450 Oak Forest Dr	CITY	Onalaska
		STATE	WI
		ZIP	54650

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

#5-ENTER
#6-EXIT

OVERALL DIMENSIONS OF SIGN #5-1' x 4' #6-1' x 3' COLOR OF BACKGROUND N/A

SIZE OF LETTERS IN INCHES 12" COLOR OF LETTERS Beige

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Plastic

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ _____

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Kelly J Voegala DATE 2/8/2024

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

Signs #7 + #8

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

JOB LOCATION	<u>State Hwy 83</u>	TAX KEY #	<u>HAV 0730950</u>
OWNER	<u>Kwik Trip</u>	PHONE	<u>608-793-6034</u>
ADDRESS	<u>1626 Oak St</u>	CITY	<u>La Crosse</u>
		STATE	<u>WI</u> ZIP <u>54603</u>
CONTRACTOR	<u>La Crosse Sign Group</u>	PHONE	<u>608-781-1450</u>
ADDRESS	<u>1450 Oak Forest Dr</u>	CITY	<u>Onalaska</u>
		STATE	<u>WI</u> ZIP <u>54650</u>

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND

PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

7+8 - Your Choice. Tavern Free or Soft Tavern

OVERALL DIMENSIONS OF SIGN 1' x 10' COLOR OF BACKGROUND White

SIZE OF LETTERS IN INCHES 4-5" COLOR OF LETTERS Red

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
White aluminum, red letters

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ _____

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Kelly J Voegels DATE 2/8/2024

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

Signs # 9, #10, #11

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

JOB LOCATION State Hwy 83 TAX KEY # HAV 0730950
 OWNER Kwik Trip PHONE 608-793-6034
 ADDRESS 1626 Oak St CITY La Crosse STATE WI ZIP 54603
 CONTRACTOR La Crosse Sign Group PHONE 608-781-1450
 ADDRESS 1450 Oak Forest Dr CITY Onalaska STATE WI ZIP 54650

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:
KWIK TRIP

OVERALL DIMENSIONS OF SIGN 2' x 12' 13/16" COLOR OF BACKGROUND N/A
 SIZE OF LETTERS IN INCHES 24" COLOR OF LETTERS Red

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Aluminum returns, Acrylic faces, LED lights

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ _____

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Kelly J Voegelé DATE 2/8/2024

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

Sign #12, #13

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION	<u>State Hwy 83</u>	TAX KEY #	<u>HAV 0730950</u>
OWNER	<u>Kwik Trip</u>	PHONE	<u>608-793-6034</u>
ADDRESS	<u>1626 Oak St</u>	CITY	<u>La Crosse</u>
		STATE	<u>WI</u> ZIP <u>54603</u>
CONTRACTOR	<u>La Crosse Sign Group</u>	PHONE	<u>608-781-1450</u>
ADDRESS	<u>1450 Oak Forest Dr</u>	CITY	<u>Onalaska</u>
		STATE	<u>WI</u> ZIP <u>54650</u>

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND

PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

#12 - DIESEL ENTER
#13 - DIESEL EXIT

OVERALL DIMENSIONS OF SIGN #12 - 1'6" x 12'5" #13 - 1'6" x 10'10" COLOR OF BACKGROUND N/A

SIZE OF LETTERS IN INCHES 18" COLOR OF LETTERS Red

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Aluminum returns, acrylic faces, LED lights

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ _____

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Kelly J Voegels DATE 2/8/2024

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

Signs #14, #15, #16

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION State Hwy 83 TAX KEY # HAV 0730950
 OWNER Kwik Trip PHONE 608-793-6034
 ADDRESS 1626 Oak St CITY La Crosse STATE WI ZIP 54603
 CONTRACTOR La Crosse Sign Group PHONE 608-781-1450
 ADDRESS 1450 Oak Forest Dr CITY Onalaska STATE WI ZIP 54650

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

#14 - Carwash Exit Only (Double-sided)
 #15 - Access to Carwash w/ Arrow (Double-sided)
 #16 - Auto Gas, Truck Diesel w/ Arrows (Double-sided)

OVERALL DIMENSIONS OF SIGNS 1'6" x 3' COLOR OF BACKGROUND Beige
 SIZE OF LETTERS IN INCHES 6-7" COLOR OF LETTERS Black/Red

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Aluminum pole/face, cut vinyl for lettering

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ _____

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Kelly J Voegels DATE 2/8/2024

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

Signs #17, #18, #19, #20, #21, #22

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION State Hwy 83 TAX KEY # HAV 0730950
OWNER Kwik Trip PHONE 608-793-6034
ADDRESS 1626 Oak St CITY La Crosse STATE WI ZIP 54603
CONTRACTOR La Crosse Sign Group PHONE 608-781-1450
ADDRESS 1450 Oak Forest Dr CITY Onalaska STATE WI ZIP 54650

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:
17-NO Parking Anytime
18-22-2-Hour Parking Maximum

OVERALL DIMENSIONS OF SIGN 1'6" x 1' COLOR OF BACKGROUND Reflective white
SIZE OF LETTERS IN INCHES 3-5" COLOR OF LETTERS Red

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Reflective, aluminum sign blanks, vinyl

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ _____

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Kelly J Voegels DATE 2/8/2024

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

Sign #23

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION State Hwy 83 TAX KEY # HAV 0730950
 OWNER Kwik Trip PHONE 608-793-6034
 ADDRESS 1626 Oak St CITY La Crosse STATE WI ZIP 54603
 CONTRACTOR La Crosse Sign Group PHONE 608-781-1450
 ADDRESS 1450 Oak Forest Dr CITY Onalaska STATE WI ZIP 54650

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

Kwik Trip, Unleaded, Unleaded 88, Premium,
Diesel, Carwash, + Electronic message center
w/ various messages

OVERALL DIMENSIONS OF SIGN 18' 1/4" x 8' COLOR OF BACKGROUND Beige / Black

SIZE OF LETTERS IN INCHES 1'6" - 2' COLOR OF LETTERS Red/white/
yellow

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Aluminum frames, aluminum faces, Darktone pingers/Emc,
plastic product faces

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ _____

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Kelly J Voegels DATE 2/8/2024

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

DEF Signs A, B, C
Roll Ahead Sign D

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

JOB LOCATION State Hwy 83 TAX KEY # HAV 0730950
OWNER Kwik Trip PHONE 608-793-6034
ADDRESS 1626 Oak St CITY La Crosse STATE WI ZIP 54603
CONTRACTOR La Crosse Sign Group PHONE 608-781-1450
ADDRESS 1450 Oak Forest Dr CITY Onalaska STATE WI ZIP 54650

SIGN TYPE: WALL PROJECTING SAWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

A-C: Diesel Exhaust Fluid (w/ Arrows)
D: After Fueling Please Pull Forward

OVERALL DIMENSIONS OF SIGN A-C: 3' x 2' COLOR OF BACKGROUND Blue/Green
D: 1'6" x 1'
SIZE OF LETTERS IN INCHES 8-9" + 3-4" COLOR OF LETTERS white

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)

Aluminum Signs with cut vinyl

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ _____

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Kelly J Voegels DATE 2/8/2024

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

Gas + Diesel
Canopy striping

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

JOB LOCATION State Hwy 83 TAX KEY # HAV 0730950
 OWNER Kwik Trip PHONE 608-793-6034
 ADDRESS 1626 Oak St CITY La Crosse STATE WI ZIP 54603
 CONTRACTOR La Crosse Sign Group PHONE 608-781-1450
 ADDRESS 1450 Oak Forest Dr CITY Onalaska STATE WI ZIP 54650

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN: Canopy stripe sizing
N/A Gas Diesel

East = 8" x 121'	West = 8" x 105'	West = 8" x 38'	North = 8" x 25'
South = 8" x 26'	North = 8" x 26'	East = 8" x 36'	South = 8" x 25'

OVERALL DIMENSIONS OF SIGN see above COLOR OF BACKGROUND N/A
 SIZE OF LETTERS IN INCHES 8" COLOR OF LETTERS Red

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Aluminum returns, acrylic faces, LED lighting
 ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)
 ESTIMATED COST OF ABOVE SIGN \$ _____

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Kelly J Voegels DATE 2/8/2024

PLANS APPROVED: ARCHITECTURAL BOARD _____
 APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

Sign #24

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION	State Hwy 83	TAX KEY #	HAV 0730950
OWNER	Kwik Trip	PHONE	608-793-6034
ADDRESS	1626 Oak St	CITY	La Crosse
		STATE	WI
		ZIP	54603
CONTRACTOR	La Crosse Sign Group	PHONE	608-781-1450
ADDRESS	1450 Oak Forest Dr	CITY	Onalaska
		STATE	WI
		ZIP	54650

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND

PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

NO TRUCK EXIT

OVERALL DIMENSIONS OF SIGN 1'6" x 3' COLOR OF BACKGROUND Beige

SIZE OF LETTERS IN INCHES 6-7" COLOR OF LETTERS Red

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
Aluminum pole/face, cut vinyl for lettering

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ _____

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT Kelly J Voegels DATE 2/14/24 - KV

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

Kwik Trip #1283 List of Signage and Square Footage*:

*NOTE: signs correspond to their number on the site plan

- #1- 24" lit, LED 'Kwik Trip' channel letters for building- 24.13 sq ft
- #2- non-lit, 'Access to Carwash' directional sign- 4 sq ft
- #3- 18" lit, LED 'Kwik Trip' and 24" lit, LED 'Carwash' channel letters for building- 13.5 sq ft + 22.48 sq ft = 35.98 sq ft
- #4- 24" lit, LED 'Kwik Trip' channel letters for building- 24.13 sq ft
- #5- 12", non-lit plastic 'ENTER' letters- 4 sq ft
- #6- 12", non-lit plastic 'EXIT' letters- 3 sq ft
- #7- 12", non-lit aluminum 'Your Choice' carwash directional sign- 10 sq ft
- #8- 12", non-lit aluminum 'Your Choice' carwash directional sign- 10 sq ft
- #9- 24" lit, LED 'Kwik Trip' channel letters for canopy- 24.13 sq ft
- #10- 24" lit, LED 'Kwik Trip' channel letters for canopy- 24.13 sq ft
- #11- 24" lit, LED 'Kwik Trip' channel letters for canopy- 24.13 sq ft
- #12- 18" lit, LED 'Diesel Enter' channel letters for diesel canopy- 18.61 sq ft
- #13- 18" lit, LED 'Diesel Exit' channel letters for diesel canopy- 16.25 sq ft
- #14- non-lit, double-faced driveway directional sign- 4.5 sq ft
- #15- non-lit, double-faced driveway directional sign- 4.5 sq ft
- #16- non-lit, double-faced driveway directional sign- 4.5 sq ft
- #17- non-lit 'No Parking Anytime' parking sign- 1.5 sq ft
- #18-#22 non-lit, '2-Hour Parking' parking sign- 1.5 sq ft each at qty 5 = 7.5 sq ft total
- #24- non-lit, double-faced driveway directional sign- 4.5 sq ft**

- DEF Sign A- non-lit canopy column directional sign- 6 sq ft
- DEF Sign B- non-lit canopy column directional sign- 6 sq ft
- DEF Sign C- non-lit canopy column directional sign- 6 sq ft

Pull Ahead Sign D- non-lit canopy directional sign- 1.5 sq ft each at qty 3
= 4.5 sq ft total

8" tall, lit, LED canopy stripe surrounding gas canopy:

East- 80.67 sq ft; South- 17.33 sq ft; West- 70 sq ft; North- 17.33 sq ft

8" tall, lit, LED canopy stripe surrounding diesel canopy:

West- 25.33 sq ft; North- 16.67 sq ft; East- 24 sq ft; North- 16.67 sq ft

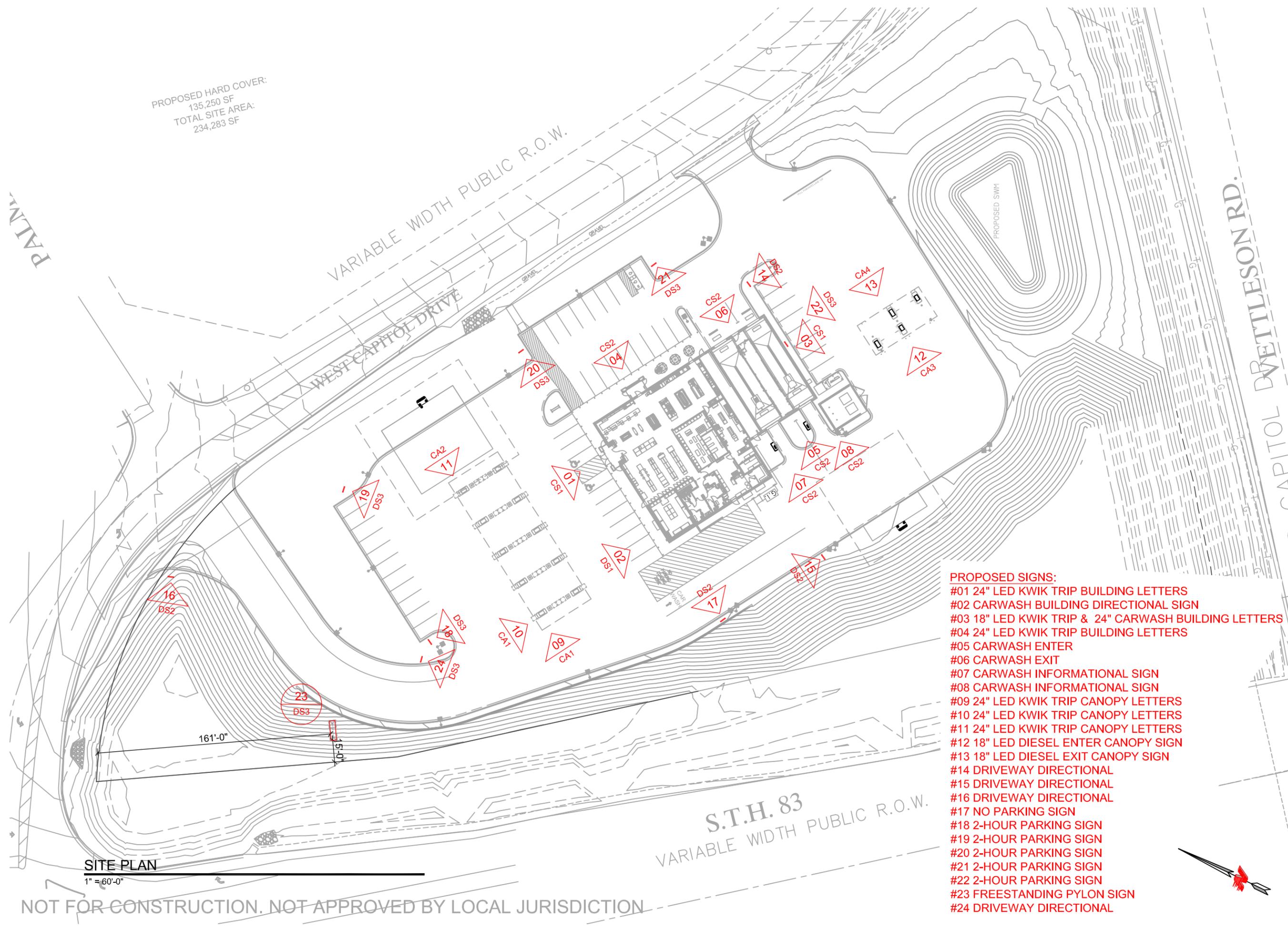
#23- 30' tall, double-faced freestanding pylon sign- total 135.90 sq ft

Main ID cabinet- 48 sq ft

4-product pricer and carwash cabinet- 57.33 sq ft

Electronic Message Center- 30.57 sq ft

PROPOSED HARD COVER:
135,250 SF
TOTAL SITE AREA:
234,283 SF



- PROPOSED SIGNS:**
- #01 24" LED KWIK TRIP BUILDING LETTERS
 - #02 CARWASH BUILDING DIRECTIONAL SIGN
 - #03 18" LED KWIK TRIP & 24" CARWASH BUILDING LETTERS
 - #04 24" LED KWIK TRIP BUILDING LETTERS
 - #05 CARWASH ENTER
 - #06 CARWASH EXIT
 - #07 CARWASH INFORMATIONAL SIGN
 - #08 CARWASH INFORMATIONAL SIGN
 - #09 24" LED KWIK TRIP CANOPY LETTERS
 - #10 24" LED KWIK TRIP CANOPY LETTERS
 - #11 24" LED KWIK TRIP CANOPY LETTERS
 - #12 18" LED DIESEL ENTER CANOPY SIGN
 - #13 18" LED DIESEL EXIT CANOPY SIGN
 - #14 DRIVEWAY DIRECTIONAL
 - #15 DRIVEWAY DIRECTIONAL
 - #16 DRIVEWAY DIRECTIONAL
 - #17 NO PARKING SIGN
 - #18 2-HOUR PARKING SIGN
 - #19 2-HOUR PARKING SIGN
 - #20 2-HOUR PARKING SIGN
 - #21 2-HOUR PARKING SIGN
 - #22 2-HOUR PARKING SIGN
 - #23 FREESTANDING PYLON SIGN
 - #24 DRIVEWAY DIRECTIONAL



KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

SITE PLAN
CONVENIENCE STORE #1283
W. 2 BAY CW & SIDE DIESEL
S.T.H. 83 AND W CAPITOL DRIVE
HARTLAND, WI

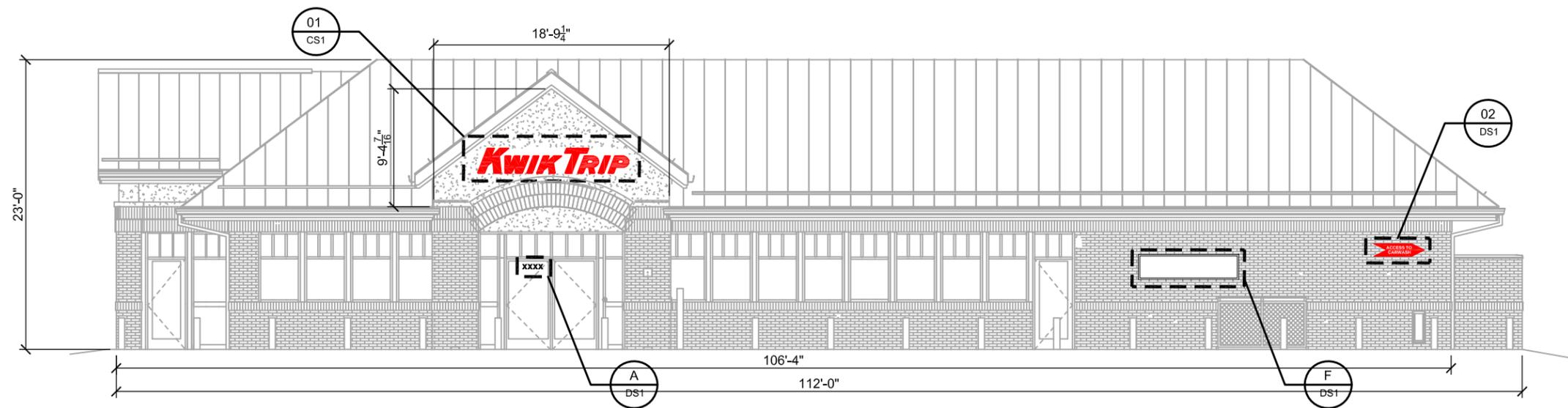
#	DATE	DESCRIPTION
▲	12/07/23	ADDED DIRECTIONAL SIGN
▲	01/17/24	BKGD UPDATE
▲	02/13/24	PYLON UPDATE
DRAWN BY		KMK
SCALE		MULTIPLE
PROJ. NO.		0001
DATE		2023 08-28
SHEET		SP1

SITE PLAN

1" = 60'-0"

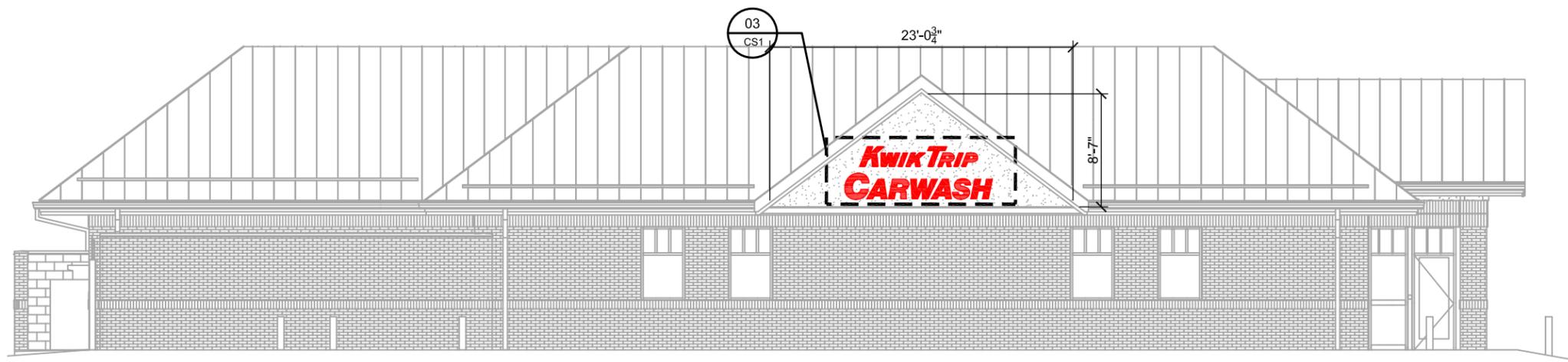
NOT FOR CONSTRUCTION. NOT APPROVED BY LOCAL JURISDICTION





STORE ELEVATION

SCALE: 3/32" = 1'-0"



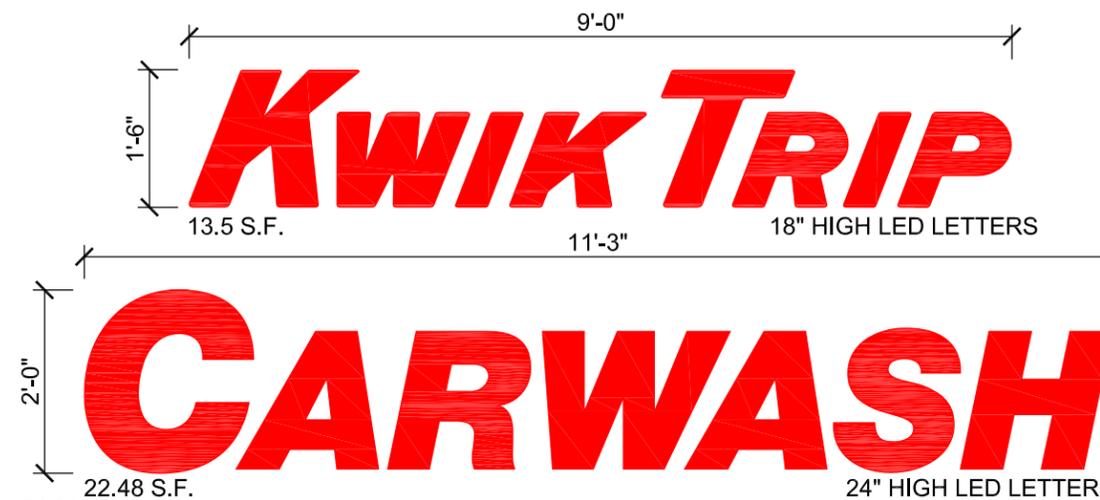
STORE ELEVATION

SCALE: 3/32" = 1'-0"



LOGO DETAIL - SIGN #01

SCALE: 1/2" = 1'-0"



LOGO DETAIL - SIGN #03

SCALE: 1/2" = 1'-0"



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CONVENIENCE STORE SIGNAGE

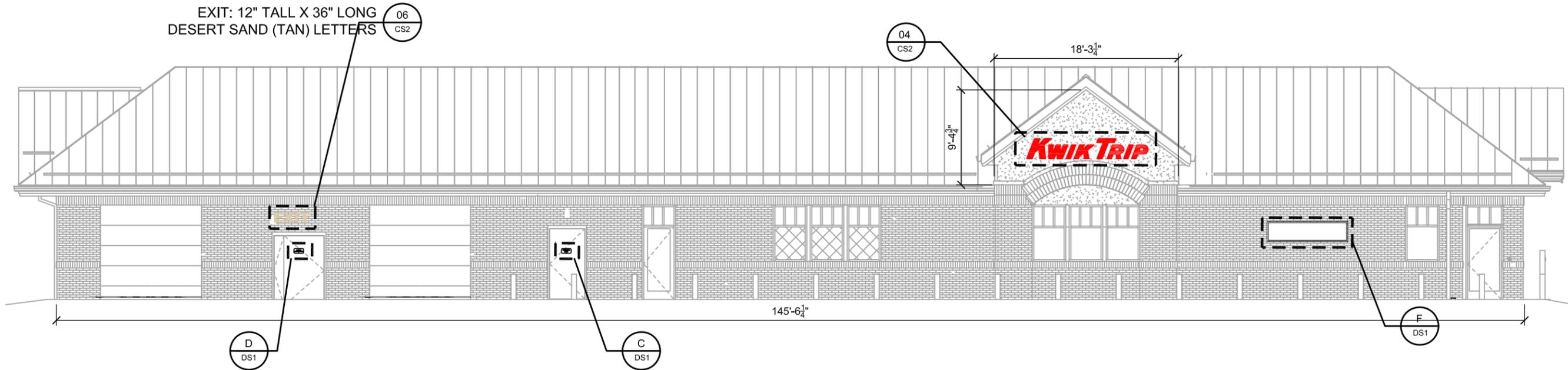
CONVENIENCE STORE #1283
W. 2 BAY CW & SIDE DIESEL

STH 83 AND W CAPITOL DRIVE
HARTLAND, WI

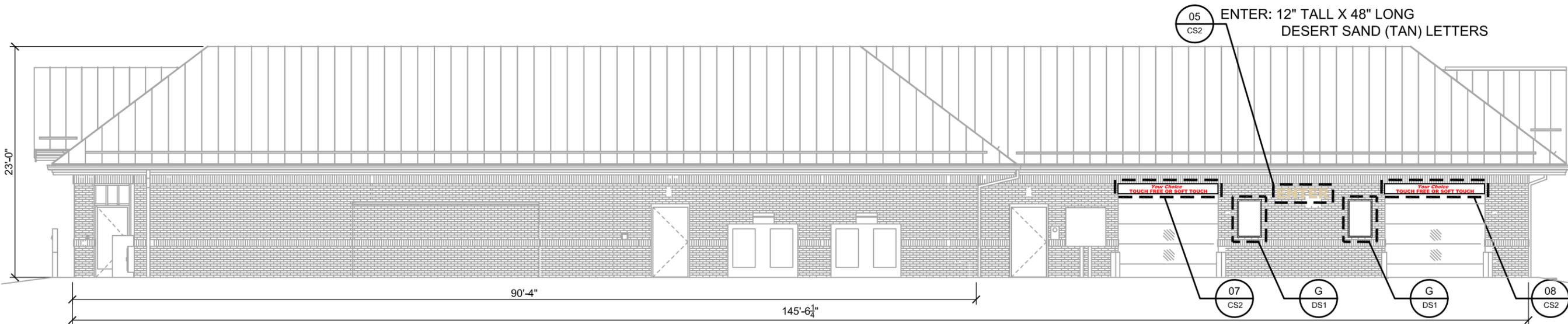
#	DATE	DESCRIPTION

DRAWN BY: KMK
SCALE: MULTIPLE
PROJ. NO.: 0001
DATE: 2023-08-28
SHEET: CS1

EXIT: 12" TALL X 36" LONG
DESERT SAND (TAN) LETTERS



STORE ELEVATION
SCALE: 3/32" = 1'-0"



STORE ELEVATION
SCALE: 3/32" = 1'-0"



LOGO DETAIL - SIGN #04
SCALE: 1/2" = 1'-0"

Your Choice
TOUCH FREE OR SOFT TOUCH

NON-LIT INFORMATIONAL SIGN
RED VINYL ON WHITE ALUMINUM
1'-0"H X 10'-0"W = 10.0 SQ FT

INFORMATIONAL SIGN #07 & #08
SCALE: 1/2" = 1'-0"



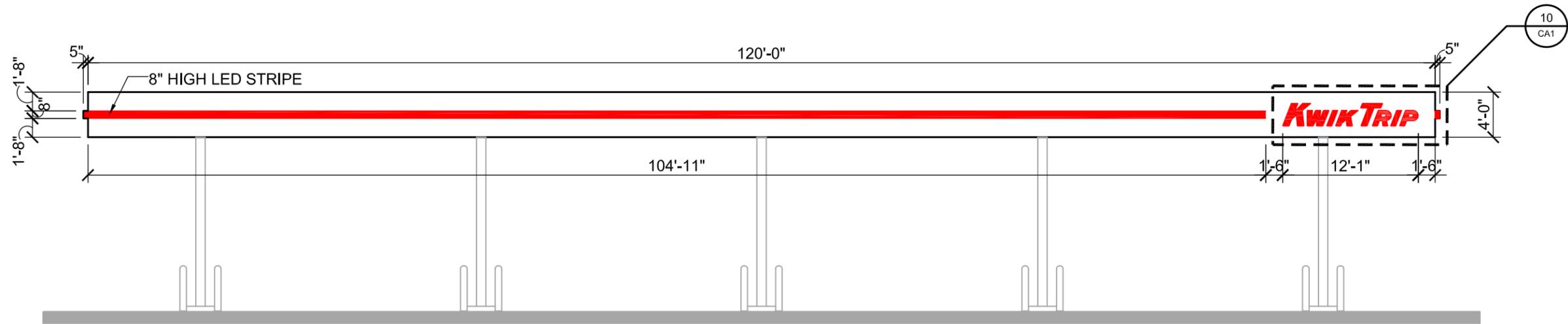
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CONVENIENCE STORE SIGNAGE

CONVENIENCE STORE #1283
W. 2 BAY CW & SIDE DIESEL

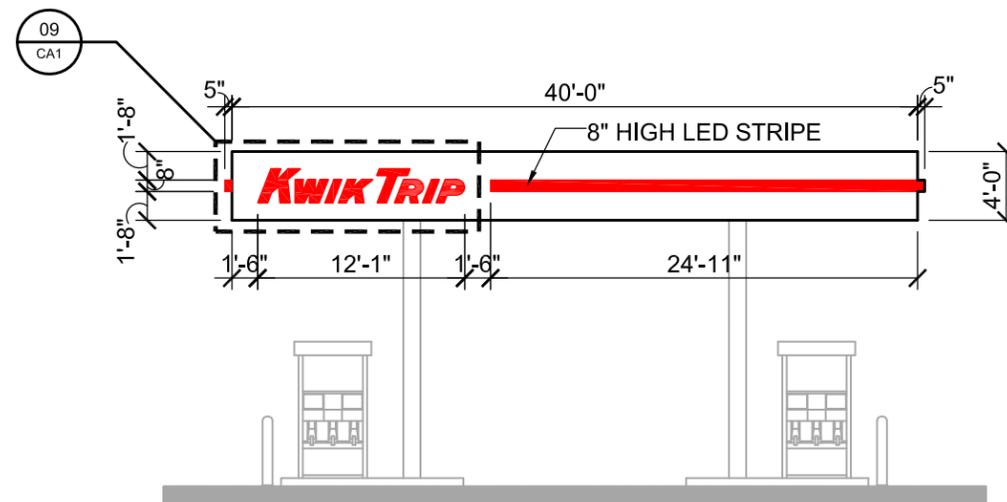
STH 83 AND W CAPITOL DRIVE
HARTLAND, WI

#	DATE	DESCRIPTION
DRAWN BY		KMK
SCALE		MULTIPLE
PROJ. NO.		0001
DATE		2023 08-28
SHEET		CS2



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



LOGO DETAIL - SIGNS #09 & #10

SCALE: 1/2" = 1'-0"

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**Kwik
STAR**

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CANOPY SIGNAGE

CONVENIENCE STORE #1283
W. 2 BAY CW & SIDE DIESEL

STH 83 AND W CAPITOL DRIVE
HARTLAND, WI

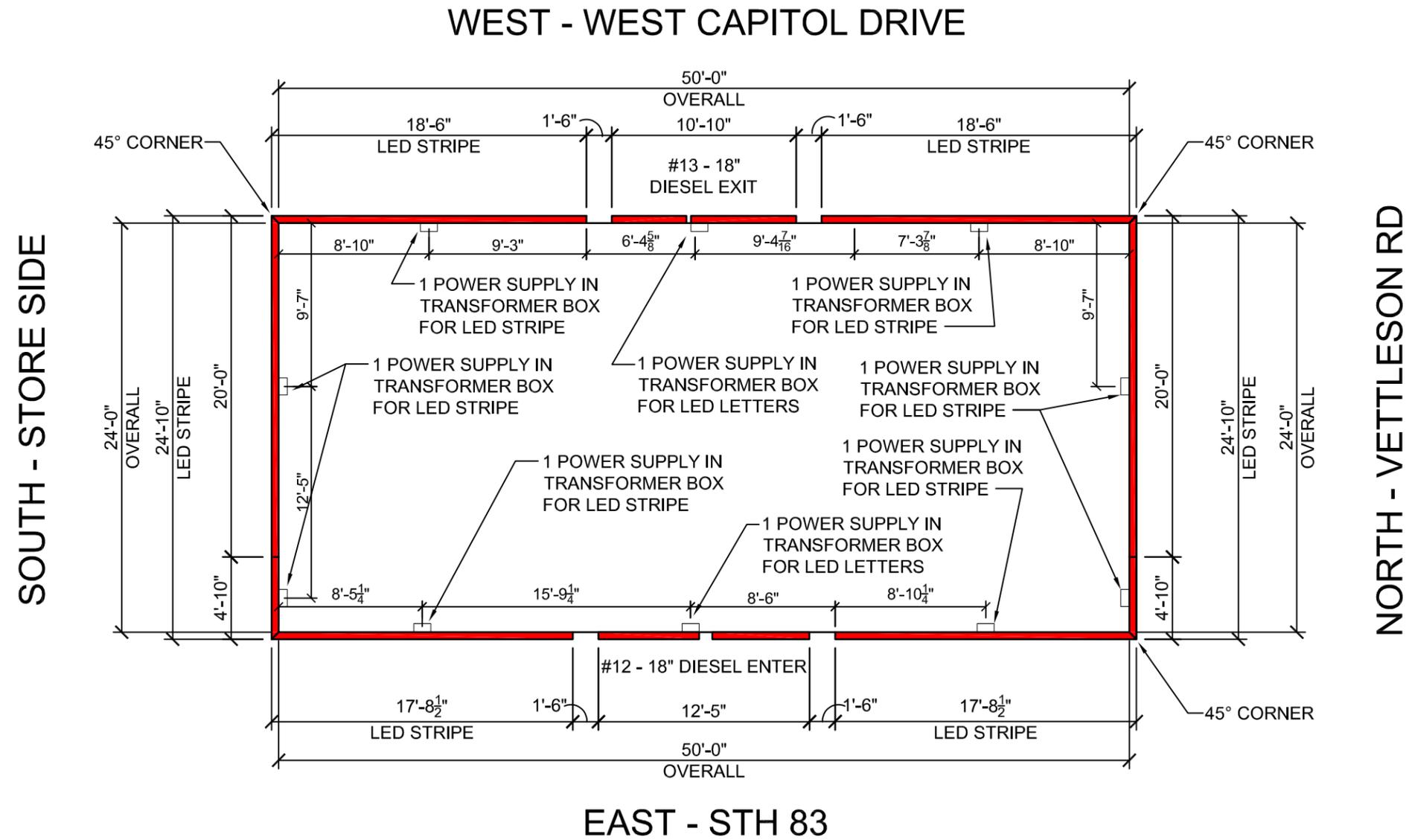
#	DATE	DESCRIPTION

DRAWN BY: KMK
SCALE: MULTIPLE
PROJ. NO.: 0001
DATE: 2023 08-28
SHEET: CA1

24'-0" X 50'-0" DIESEL CANOPY WITH 47" HIGH FASCIA

POWER SUPPLY INFO:

- * (1) POWER SUPPLY CAN RUN 28'-0" OF LED OR (40) LED MODULES MAXIMUM HANLEY LED
- * POWER SUPPLY TO BE CENTERED IN EACH SECTION OF LED STRIPE RUN, CENTER-LOADING LEDS IN EACH RUN
- * POWER SUPPLY DRAWS .8 AMP AT 120V INPUT
- * (10) POWER SUPPLIES REQUIRED TOTAL (AS SHOWN ON PLAN)
- * TOTAL LED STRIPE LENGTH = 122'-1"



KWIK TRIP

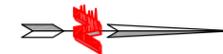
KWIK STAR

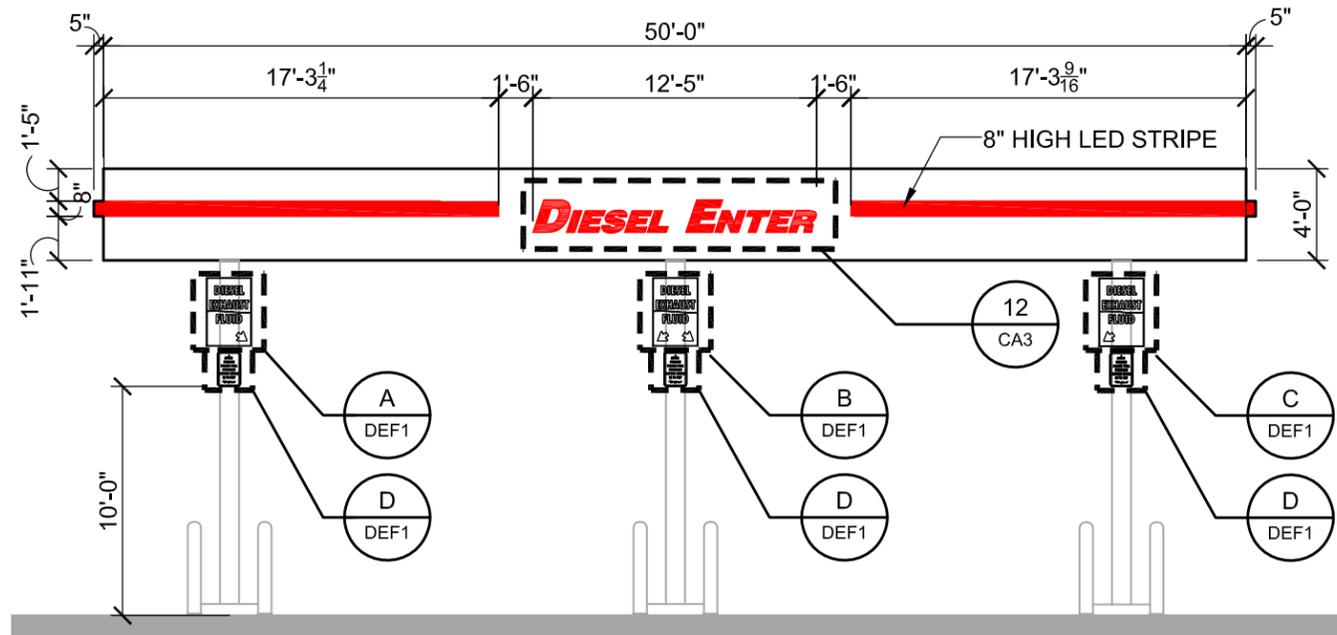
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DIESEL CANOPY LAYOUT PLAN
 CONVENIENCE STORE #1283
 STH 83 AND W CAPITOL DRIVE
 HARTLAND, WI

#	DATE	DESCRIPTION

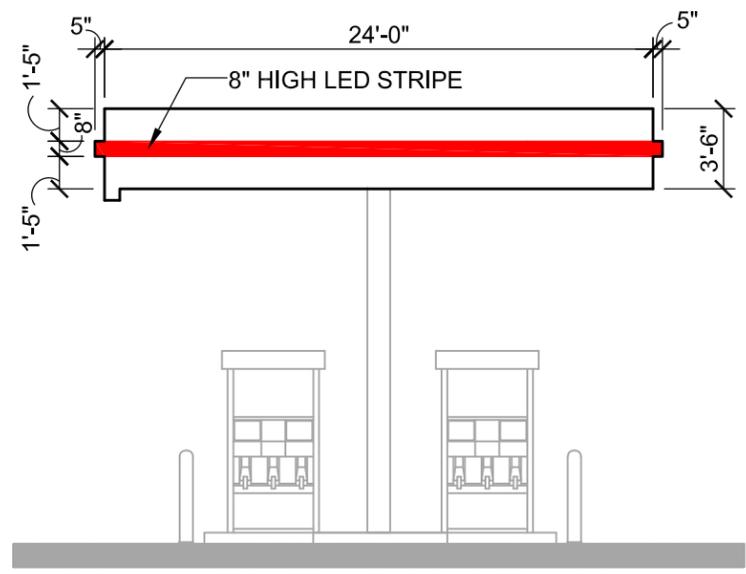
DRAWN BY: KMK
 SCALE: MULTIPLE
 PROJ. NO.: 0001
 DATE: 2023 09-08
 SHEET: DC-1





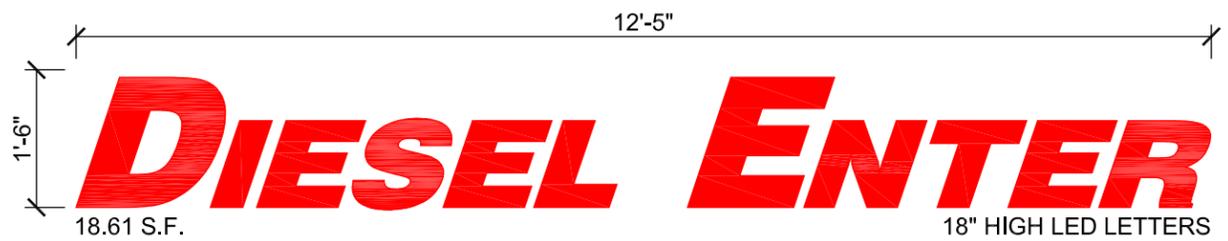
CANOPY ELEVATION

SCALE: 1/8" = 1'-0"



CANOPY ELEVATION

SCALE: 1/8" = 1'-0"



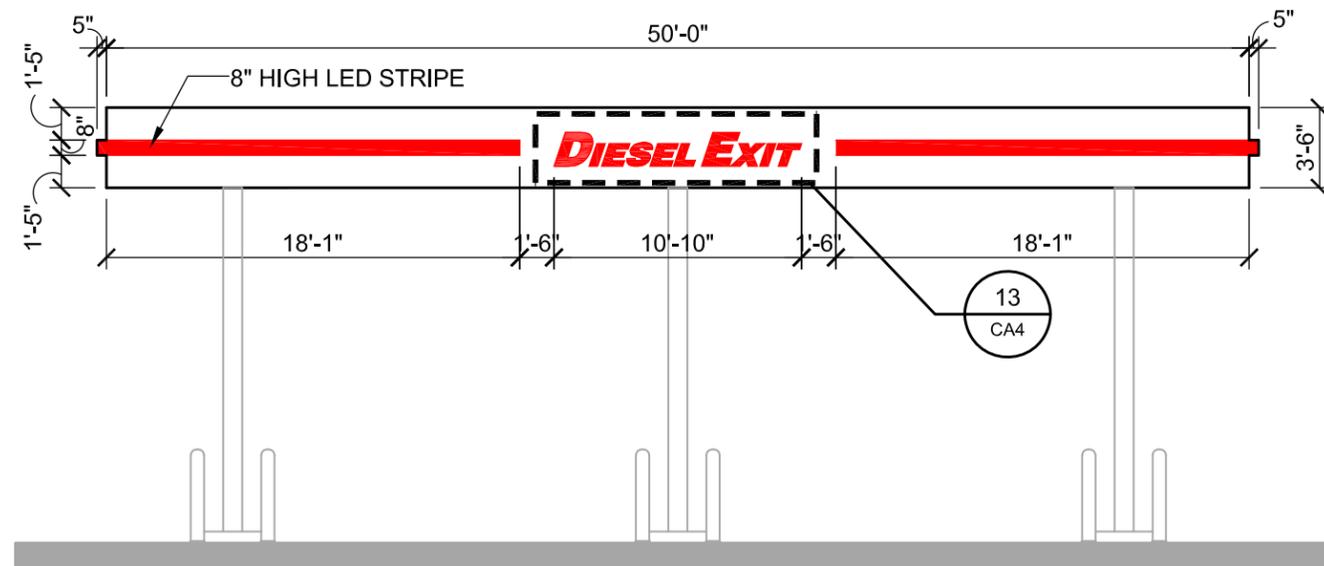
LOGO DETAIL - SIGN #12

SCALE: 1/2" = 1'-0"



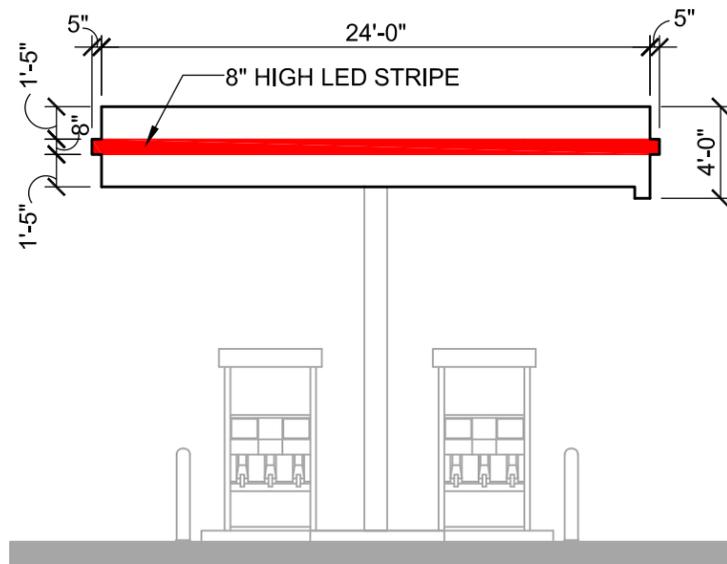
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CANOPY SIGNAGE	CONVENIENCE STORE #1283	
	w. 2 BAY CW & SIDE DIESEL	
	STH 83 AND W CAPITOL DRIVE	
	HARTLAND, WI	
#	DATE	DESCRIPTION
DRAWN BY		KMK
SCALE		MULTIPLE
PROJ. NO.		0001
DATE		2023 08-28
SHEET		CA3



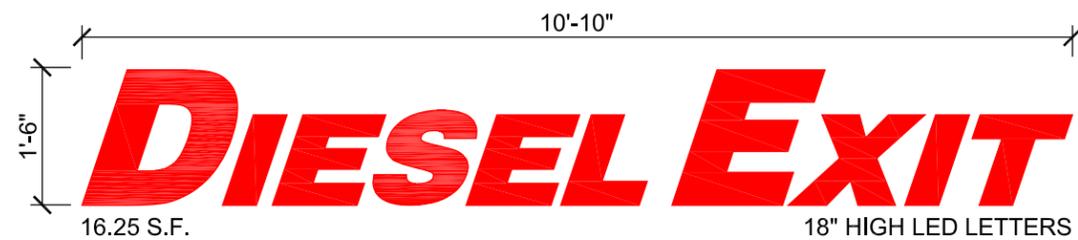
CANOPY ELEVATION

SCALE: 1/8" = 1'-0"



CANOPY ELEVATION

SCALE: 1/8" = 1'-0"



LOGO DETAIL - SIGN #13

SCALE: 1/2" = 1'-0"

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CANOPY SIGNAGE

CONVENIENCE STORE #1283
W. 2 BAY CW & SIDE DIESEL

STH 83 AND W CAPITOL DRIVE
HARTLAND, WI

#	DATE	DESCRIPTION

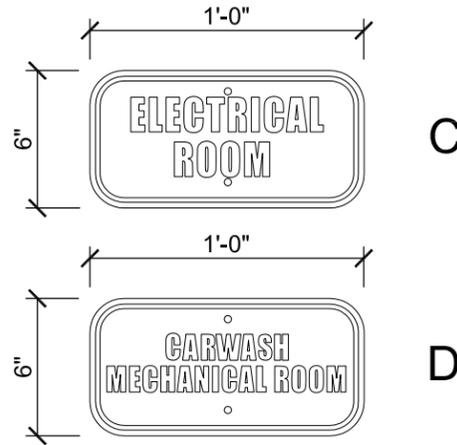
DRAWN BY: KMK
SCALE: MULTIPLE
PROJ. NO.: 0001
DATE: 2023 08-28
SHEET: CA4



5" WHITE VINYL ADDRESS LETTERS
ON GLASS DOOR AS SHOWN ABOVE
(VERIFY ACTUAL NUMBERS WITH PROJECT MANAGER)

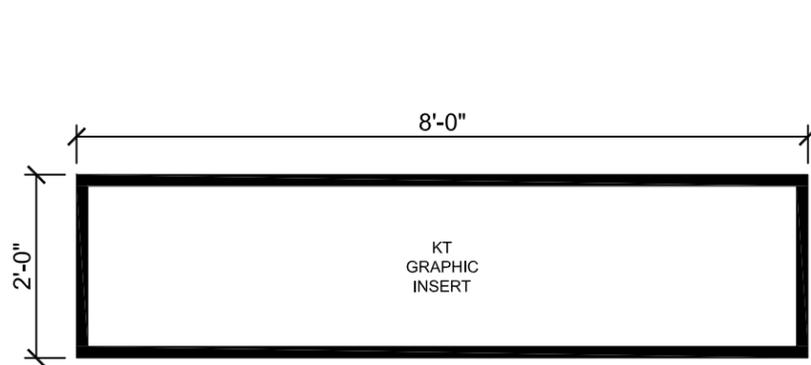
ADDRESS SIGN A

SCALE: 3/4" = 1'-0"

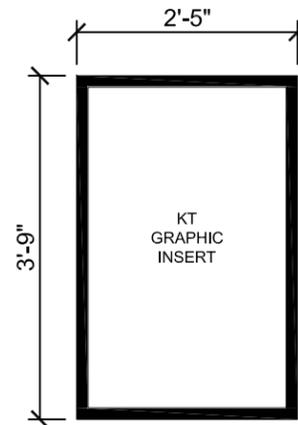


INFORMATIONAL SIGNS C & D

SCALE: 1 1/2" = 1'-0"



"SIGN F"
BLACK ALUMINUM FRAME



"SIGN G"
BLACK ALUMINUM FRAME



NON-LIT DIRECTIONAL SIGN
WHITE VINYL ON RED ALUMINUM
1'-0"H X 4'-0"W = 4.0 SQ FT

DIRECTIONAL SIGN #02

SCALE: 3/4" = 1'-0"

GENERAL SPECIFICATIONS

ROOM SIGNS

Qty: 3 total (different copy on each)

Size: per art

Material: white sign blank

Finish: cut vinyl

Install along with various signs for
same site, crew to give to KT trim guys
to install.

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DIRECTIONAL SIGNAGE

CONVENIENCE STORE #1283
W. 2 BAY CW & SIDE DIESEL

STH 83 AND W CAPITOL DRIVE
HARTLAND, WI

#	DATE	DESCRIPTION

DRAWN BY	KMK
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2023 08-28
SHEET	DS1

INFORMATIONAL SIGNS F & G

SCALE: 1/2" = 1'-0"

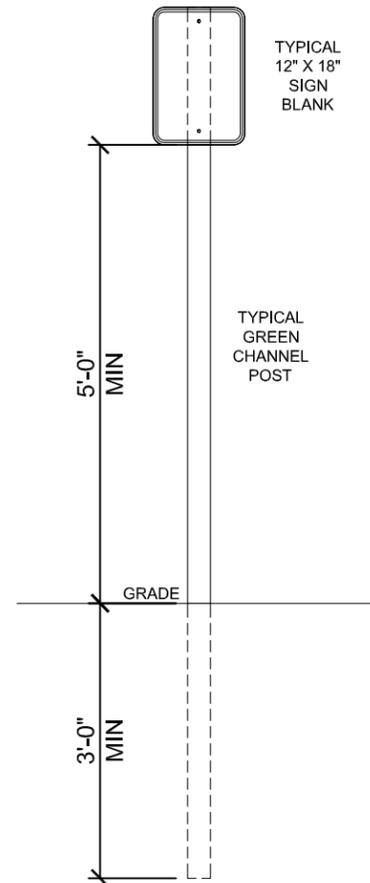
SINGLE SIDED SIGN



12" X 18" ALUMINUM SIGN
QTY: 5

2 HOUR PARKING SIGN #18, #19, #20, #21 & #22

SCALE: 1/2" = 1'-0"



SINGLE SIDED DIRECTIONAL SIGN

EAST SIDE



NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-6"H X 3'-0"W X 4'-6"T= 4.50 SQ FT

DIRECTIONAL SIGN #24

SCALE: 3/4" = 1'-0"

#23 KWIK TRIP FREESTANDING PYLON SIGN

SEE ATTACHED ARTWORK

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DIRECTIONAL SIGNAGE

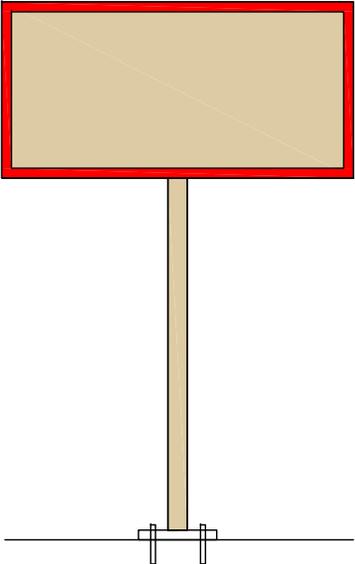
CONVENIENCE STORE #1283
W. 2 BAY CW & SIDE DIESEL

STH 83 AND W CAPITOL DRIVE
HARTLAND, WI

#	DATE	DESCRIPTION
△	12/07/23	ADDED DIRECTIONAL SIGN

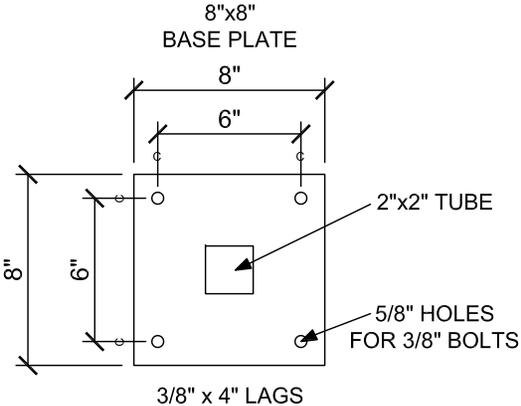
DRAWN BY	KMK
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2023 08-28
SHEET	DS3

SINGLE SIDED NON-LIT DIRECTIONAL SIGN



DIRECTIONAL SIGN EXAMPLE

SCALE: NTS



NOTES:

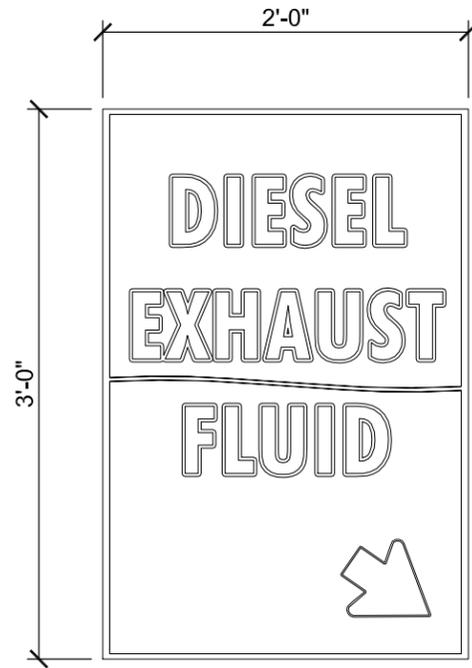
- Sign vendor to anchor sign/s to concrete pad
- Sign vendor to anchor signs with (4) 3/8" x 4" lags & shield anchors. Use stainless steel hardware
- Stainless steel flat washers may be used under base plate as needed to shim sign to be plumb
- Concrete Pad installed by others (Kwik Trip/Kwik Star Concrete Vendor)
 - Concrete Pad to be 5"x 36"x 36"
 - Center of footing to be installed 48" from face of curb



DIRECTIONAL SIGN BASE PLATE

SCALE: 1 1/2" = 1'-0"

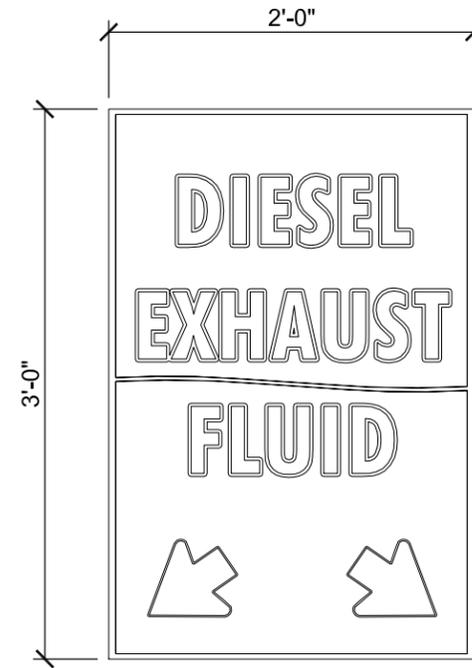
	KWIK TRIP, Inc. P.O. BOX 2107 1626 OAK STREET LA CROSSE, WI 54602-2107 PH. (608) 781-8988 FAX (608) 781-8960	PROJECT: Store- All Stores Date - 08/31/2023 DESCRIPTION: All Directional signs will have a single post per the detail above	SCB #1



QTY: X

DEF SIGN A

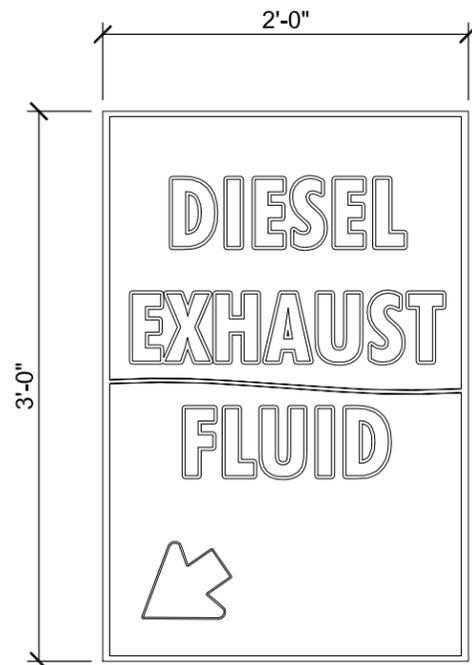
SCALE: 3/4" = 1'-0"



QTY: X

DEF SIGN B

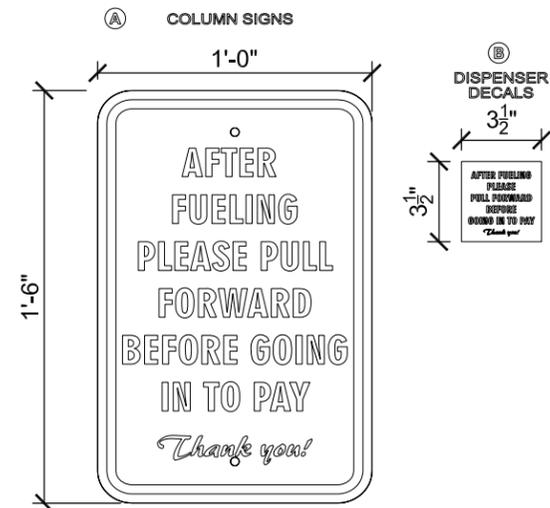
SCALE: 3/4" = 1'-0"



QTY: X

DEF SIGN C

SCALE: 3/4" = 1'-0"



PULL AHEAD SIGN D

SCALE: 1 1/2" = 1'-0"



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DEF / DSL SIGNAGE
CONVENIENCE STORE #1283
W. 2 BAY CW & SIDE DIESEL
STH 83 AND W CAPITOL DRIVE
HARTLAND, WI

#	DATE	DESCRIPTION

DRAWN BY: KMK
SCALE: MULTIPLE
PROJ. NO.: 0001
DATE: 2023 08-28
SHEET: DEF1

1283 HARTLAND, WI



IF YOU CAN SEE THIS TEXT THIS ARTWORK IS NOT PRINTED TO SCALE

IF YOU CAN SEE THIS TEXT THIS ARTWORK IS NOT PRINTED TO SCALE

1020 Wilbur Ave. PO BOX 2098
WATERLOO, IA 50704
319-233-4604 • 800-728-4604
Fax: 319-233-7514

605 Iowa Ave. West
MARSHALLTOWN, IA 50158
641-752-6608 • 888-656-7446
Fax: 641-752-6968

PROJECT
KWIK TRIP

LOCATION
HARTLAND, WI

REP. SARAH

DESIGNER HMF

SKETCH # 7-18-23

ORDER #

SCALE 1/4" = 1'0"

FILE

PRINT FILE /
REVISION(S)

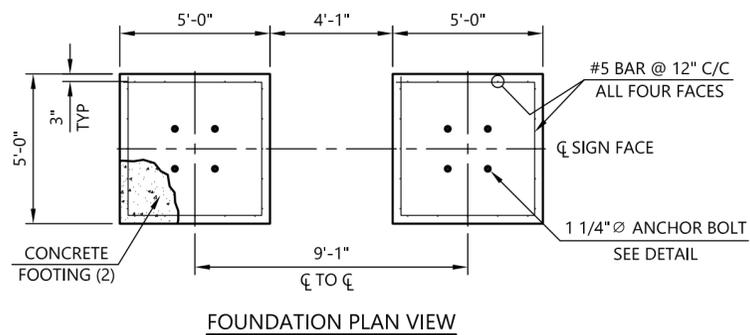
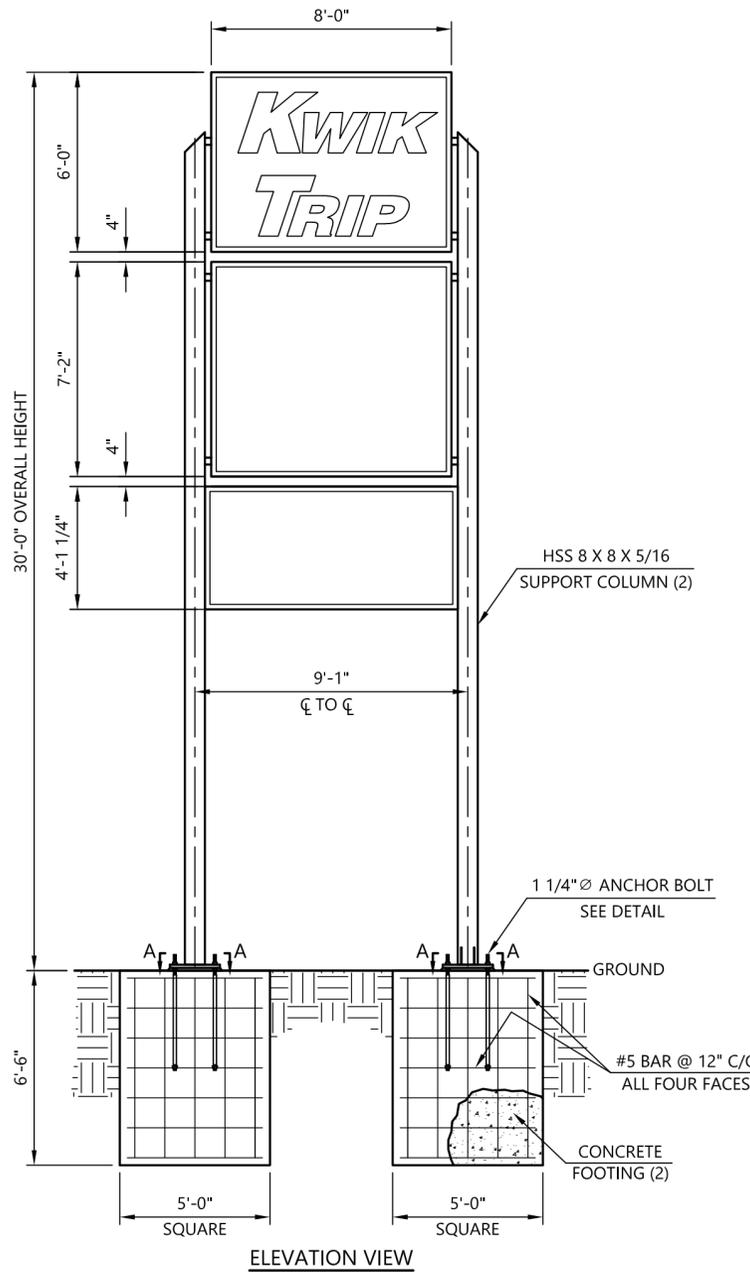
CLIENT APPROVAL
SIGNATURE/DATE

naglesigns.com

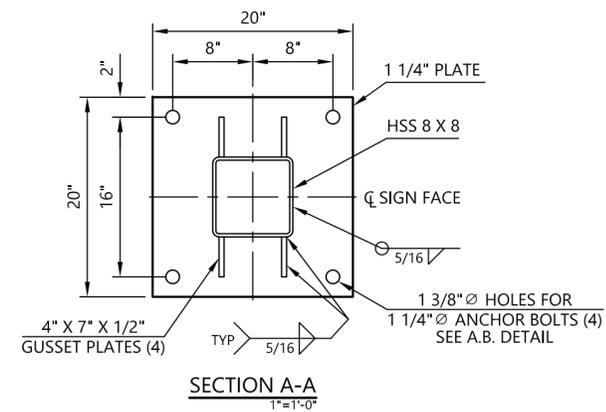
COPYRIGHT 2023 - THIS ARTWORK IS PROPERTY OF NAGLE SIGNS INC. AND MAY NOT BE REPRODUCED. THIS RENDERING IS FOR REPRESENTATIONAL PURPOSES ONLY. Color output may not be exact when viewing or printing this drawing. If these colors are incorrect, please provide the correct PMS match & the revision will be made.

GENERAL NOTES:

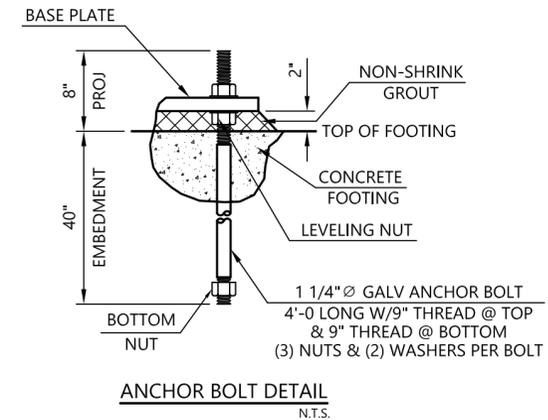
- All design, fabrication, installation and construction shall conform to the following specifications, unless specifically noted otherwise on the drawing:
 - The 2015 International Building Code
 - American Concrete Institute Building Code Requirements for Reinforced Concrete (318-14).
 - American Institute of Steel Construction, Inc Manual of Steel Construction (14th Edition).
 - American Welding Society ANSI/AWS D1.1 Structural Welding Code - Steel
- All steel components shall be as listed below, unless noted otherwise:
 - All rolled shapes, plates and bars shall be ASTM A36, or equal.
 - All pipe shall meet the requirements of ASTM A53, Type S or E, Grade B, or equal.
 - All structural tubing shall be ASTM A500, Grade B, or equal.
 - All bolted connections shall be made with ASTM A325 Bolts and shall be installed as per AISC Specifications.
 - All anchor bolts shall be ASTM A307 Gr C or ASTM F1554 Gr 36 and shall be galvanized and installed as per AISC Specifications
 - All exposed materials shall be properly protected from weathering and/or corrosion.
- All field welds shall be made by a welder certified in the specified position.
 - All welds shall be made with E70XX electrode, or equal.
 - All welds shall be made in a sequence that will balance the applied heat of welding while the welding progresses.
- All concrete shall have a minimum compressive strength at 28 days of 3000 psi.
 - Signage may be installed on the structure after a minimum curing time of 7 days, provided the curing process has been properly maintained in accordance with ACI 318-14.
- All reinforcement steel shall have a minimum yield strength of 60,000 psi and shall conform to ASTM A615. All reinforcement steel shall be placed in accordance with ACI 318-14.
 - All reinforcement steel shall be provided with a minimum concrete cover of 3" when concrete is cast against earth.
 - Reinforcement steel shall not be "tack" welded at crossing points.
- The structure has been designed to withstand a 115 mph (3-sec gust) design wind speed with a maximum design pressure of 41.6 psf according to ASCE 7-16. (Exposure C - Risk Cat. II)
 - Seismic design was considered as per ASCE 7-16 assuming S_{ds}=0.092, I=1.0, and Site Class D-default.
- The foundation has been designed assuming the following average soil conditions:
 - Allowable Lateral Bearing Pressure of 150 psf/ft (This value is used for cube and auger footings.) The soil allowable is multiplied by two for isolated footing as per IBC 1806.3.4.
 - 150 psf/ft corresponds to clay, sandy clay, silty clay, clayey silt, silt, sandy silt or equal.
 - If soil conditions other than those assumed are encountered (including soft soils, unstable or collapsing soils, expansive soils, organic materials, groundwater, adjacent utilities, or any other condition of potential concern) cease excavation immediately and contact Cornerstone so that the foundation design can be re-evaluated.
 - If the structure is to be located in the proximity of a building or any other structure, Cornerstone shall be contacted prior to installation to evaluate any potential impact on the adjacent footings.
 - If the structure is located on the side or top of a slope in excess of 3:1, the installer shall contact Cornerstone for re-evaluation. The foundation shall not be placed in or near a fill slope without Cornerstone's approval.
 - All concrete shall be placed in direct contact with undisturbed soil. There shall be no backfilled soil placed in or around the foundation without written approval from Cornerstone.
- Cornerstone is in no way responsible for the safety of the work site during installation. The installer shall take appropriate measures to make sure that the installation of the foundation and the erection of the structure is performed using methods in compliance with applicable OSHA regulations.
- If existing and proposed conditions are not as detailed in this design drawing the installer shall cease work and notify Cornerstone immediately.
 - Cornerstone will not be performing on-site inspections or verification of conditions. It is the responsibility of the installer, the structure owner, and the property owner to identify the on-site conditions and to contact Cornerstone with any discrepancies or concerns. It is the owner's responsibility to locate and mark all underground utilities.
- Any deviation from these plans or non-compliance with the general notes without written approval from Cornerstone will render the entire design to be void.



FOOTING NOTE:
THE CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOIL. DO NOT BACKFILL OR USE FORMWORK. ANY LOOSE OR SLOUGHED SOIL SHALL BE REMOVED AND THE VOIDED AREA FILLED WITH CONCRETE.



NON-SHRINK GROUT NOTE:
THE INSTALLER SHALL CONFIRM THAT THE ENTIRE VOIDED AREA BETWEEN THE BOTTOM OF THE BASE PLATE AND THE TOP OF THE CONCRETE FOOTING SHALL BE FILLED COMPLETELY WITH NON-SHRINK GROUT. GROUT SHALL BE INSTALLED FOLLOWING THE MANUFACTURER'S SPECIFICATIONS. THE GROUT SHALL BE FLOWABLE AND NON-SHRINK, MAY BE CEMENTIOUS OR EPOXY BASED, AND SHALL HAVE A MINIMUM CURED COMPRESSIVE STRENGTH OF 4000 PSI.



NOTICE:
CORNERSTONE ENGINEERING, INC. IS RESPONSIBLE FOR COLUMN AND FOOTING DESIGN ONLY. SIGN CABINET COMPONENTS AND ATTACHMENT ARE THE RESPONSIBILITY OF THE SIGN MANUFACTURER.

Project #: 230774	Drawn By: CRS	Date: 09/29/2023	Sheet: 1 of 1
Dwg #: CA28360			
Scale: 1/4"=1'-0"			

JAMES E. WRIGHT, JR.



TW COUNTRY AIRE DELAFIELD LLC AND
DELAFIELD COUNTRY AIRE ASSOCIATES
PO BOX 180560
DELAFIELD, WI 53018-0560

700 WEST CAPITOL DRIVE LLC
1422 PEARL ST
WAUKESHA, WI 53186-5604

ANDREW J AND KRISTIN K ZIETLOW
REVOCABLE
3312 BAY VIEW CT
DELAFIELD, WI 53018-1004

DELAFIELD STATION LLC
11501 NORTHLAKE DR C/O PHILLIPS
EDISON & COMPANY
CINCINNATI, OH 45249-1669

ILLINOIS CEMENT CO
PO BOX 442
LA SALLE, IL 61301

JOHN TOPPING AND C M TOPPING
4315 CAMPBELL TRACE
HARTLAND, WI 53029

KWIK TRIP
1626 OAK ST
LA CROSSE, WI 54603-2308

SJOBERG COMMERCIAL PROP LLC
535 S INDUSTRIAL DR
HARTLAND, WI 53029-2323

**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT**

PERMIT # _____

JOB LOCATION 900 WALNUT RIDGE DR, HARTLAND, WI 53029 TAX KEY # _____
OWNER MERGE HEALTHCARE SOLUTIONS INC. PHONE 262-367-0700
ADDRESS 900 WALNUT RIDGE DRIVE CITY HARTLAND STATE WI ZIP 53029
CONTRACTOR POBLOCKI SIGN COMPANY PHONE 708-299-9026
ADDRESS 922 SOUTH 70TH STREET CITY MILWAUKEE STATE WI ZIP 53214

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
CHANGE OF FACE
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

MERGE W/LOGO

OVERALL DIMENSIONS OF SIGN 13'-0" X 3'-0" COLOR OF BACKGROUND DURANODIC 7725-69
12 1/2" HIGH LETTERS
SIZE OF LETTERS IN INCHES 1'-11" HIGH LOGO COLOR OF LETTERS WHITE

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
ALUMINUM PANEL, WHITE ACRYLIC, AND VINYL

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 4,000.00

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT *Dalia Villanar* DATE 2/14/24

PLANS APPROVED: ARCHITECTURAL BOARD _____

APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

SIGN SPECIFICATIONS

[A] - FACE CHANGE

Material: Aluminum
 Color: Paint to match Duranodic 7725-69
 Surveyed: Yes - (previously built by Poblocki)
 Installation: By Poblocki

[B] - GRAPHICS

Graphics: Backed-up
 Color: White

[C] - GRAPHICS

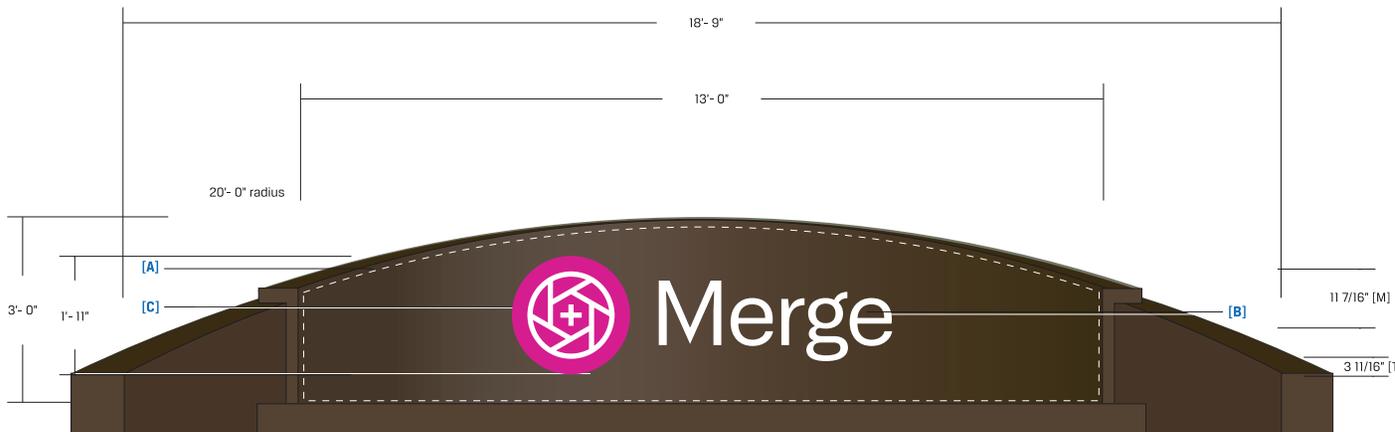
Material: Standard Translucent Vinyl
 Color: Intense Magenta 3630-118 [approval required]



existing layout



proposed layout



800.776.7064 • www.poblocki.com

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Project



Hartland, Wisconsin

Scale: 1/2"=1'
 Original Page Size: 11" x 17"

Notes
VINYL COLOR APPROVAL REQUIRED
REFERENCE DRAWING
79145-FC-01-J01 LINE 0001,
39598-01 WO#E18031-B &
34331-01 WO#E14979

Revisions

REV	DESCRIPTION	BY	DATE
01	logo change	seb	10.31.23

Rep.: John Campbell Orig. Date: 10/11/23
 Drawn By: Sarah Biagioni

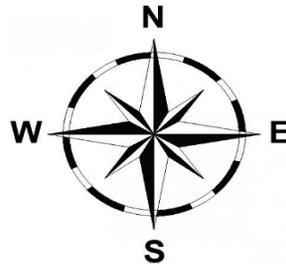
Sign Loc. No. .

FC-01
 S/F Face Change
 Sign Type

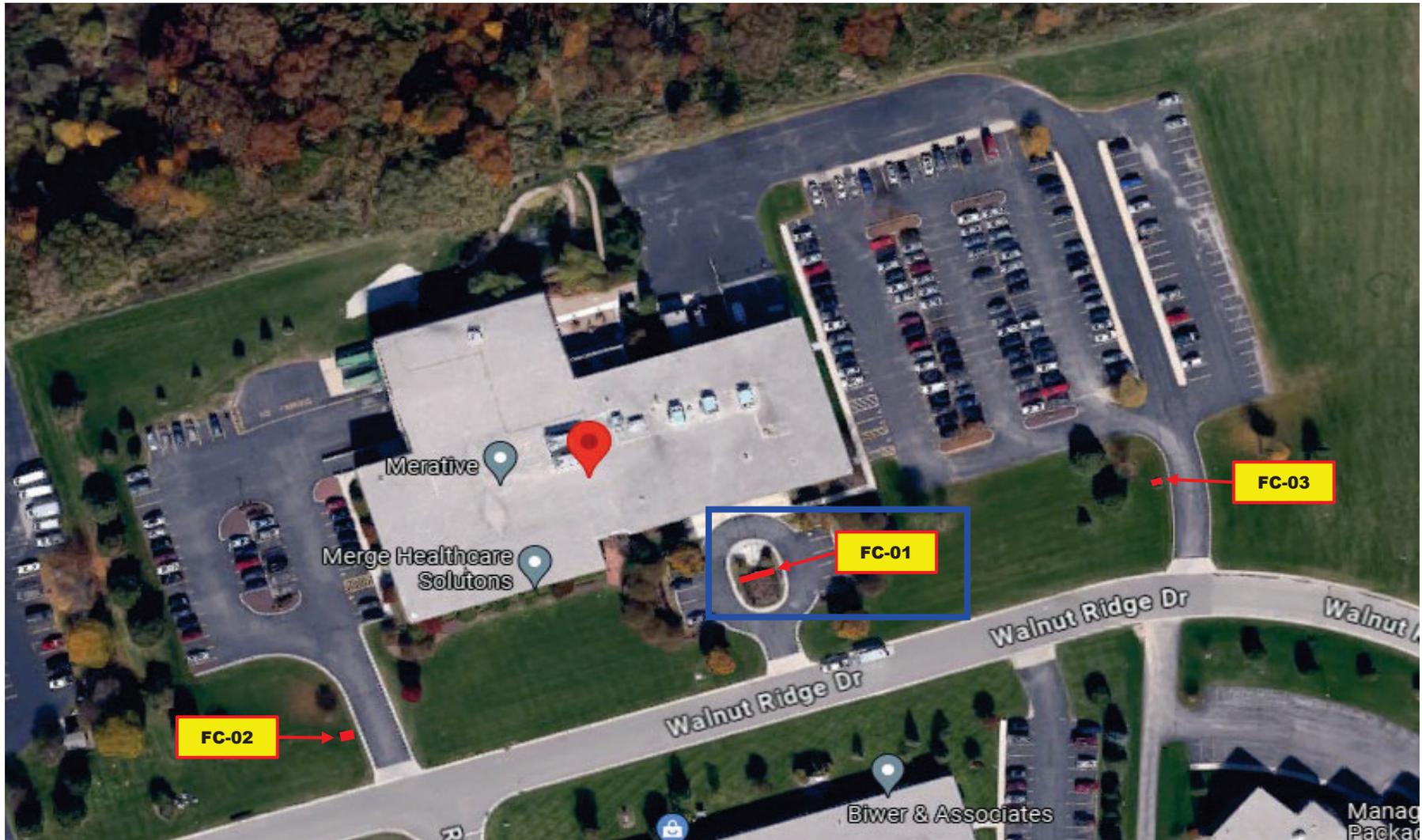
96107
 DPP - Project - Job No.

C01
 Design

MERGE HEALTHCARE SOLUTIONS INC.
900 WALNUT RIDGE DRIVE
HARTLAND, WI 53029



POBLOCKI SIGN COMPANY
922 SOUTH 70TH STREET
MILWAUKEE, WI 53214
708-299-9026



SIGN SPECIFICATIONS

[A] - FACE CHANGE

Material: Lexan
 Color: White
 Surveyed: Yes - (previously built by Poblocki)
 Installation: By Poblocki

[B] - GRAPHICS

Graphics: Vinyl
 Color: Duranodic 7725-69

[C] - GRAPHICS

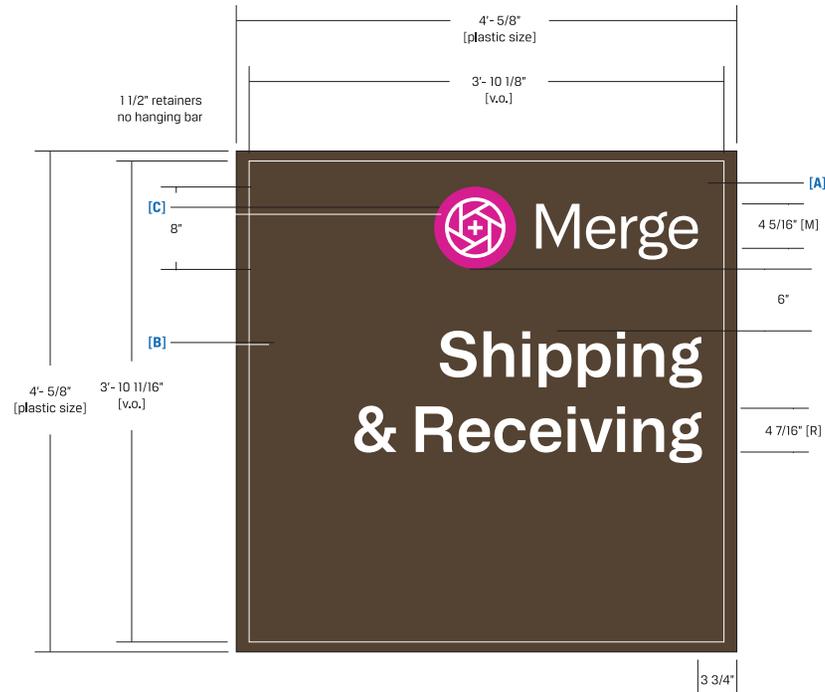
Material: Standard Translucent Vinyl
 Color: Intense Magenta 3630-118 [approval required]



existing layout



proposed layout



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Project



Hartland, Wisconsin

Scale: 1"=1'
 Original Page Size: 11" x 17"

Notes
VINYL COLOR APPROVAL REQUIRED
REFERENCE DRAWING
79145-FC-02-J01 LINE 0002
39598-03 WO#E18031-C &
40674-04 WO#E18733-A

Revisions

REV	DESCRIPTION	BY	DATE
01	reduce logo	seb	10,18,23
02	font change	seb	10,19,23
03	logo update	seb	10,27,23

Rep.: John Campbell Orig. Date: 10/11/23
 Drawn By: Sarah Biagioni

Sign Loc. No. .

FC-02

S/F Face Change

Sign Type

96107

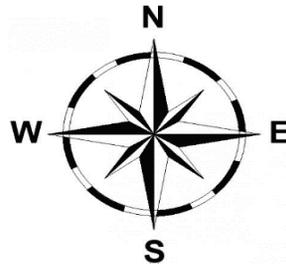
DPP - Project - Job No.

C01

Design



**MERGE HEALTHCARE SOLUTIONS INC.
900 WALNUT RIDGE DRIVE
HARTLAND, WI 53029**



**POBLOCKI SIGN COMPANY
922 SOUTH 70TH STREET
MILWAUKEE, WI 53214
708-299-9026**



SIGN SPECIFICATIONS

[A] - FACE CHANGE

Material: Lexan
 Color: White
 Surveyed: Yes - [previously built by Poblocki]
 Installation: By Poblocki

[B] - GRAPHICS

Graphics: Vinyl
 Color: Duranodic 7725-69

[C] - GRAPHICS

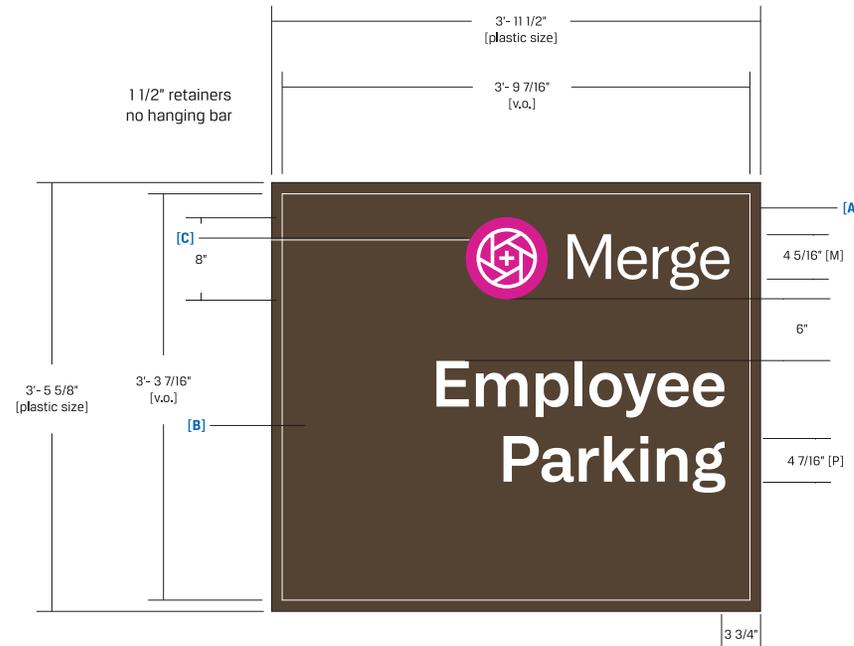
Material: Standard Translucent Vinyl
 Color: Intense Magenta 3630-118 [approval required]



existing layout



proposed layout



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Project



Hartland, Wisconsin

Scale: 1"=1'
 Original Page Size: 11" x 17"

Notes
VINYL COLOR APPROVAL REQUIRED
REFERENCE DRAWING
79145-FC-03-J01 LINE 0002
39598-03 WO#E18031-C &
40674-04 WO#E18733-A

Revisions

REV	DESCRIPTION	BY	DATE
01	reduce logo	seb	10,18,23
02	font change	seb	10,19,23
03	logo update	seb	10,27,23

Rep.: John Campbell Orig. Date: 10/11/23
 Drawn By: Sarah Biagioni

Sign Loc. No. .

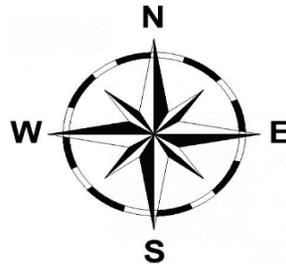
FC-03
 S/F Face Change
 Sign Type

96107
 DPP - Project - Job No.

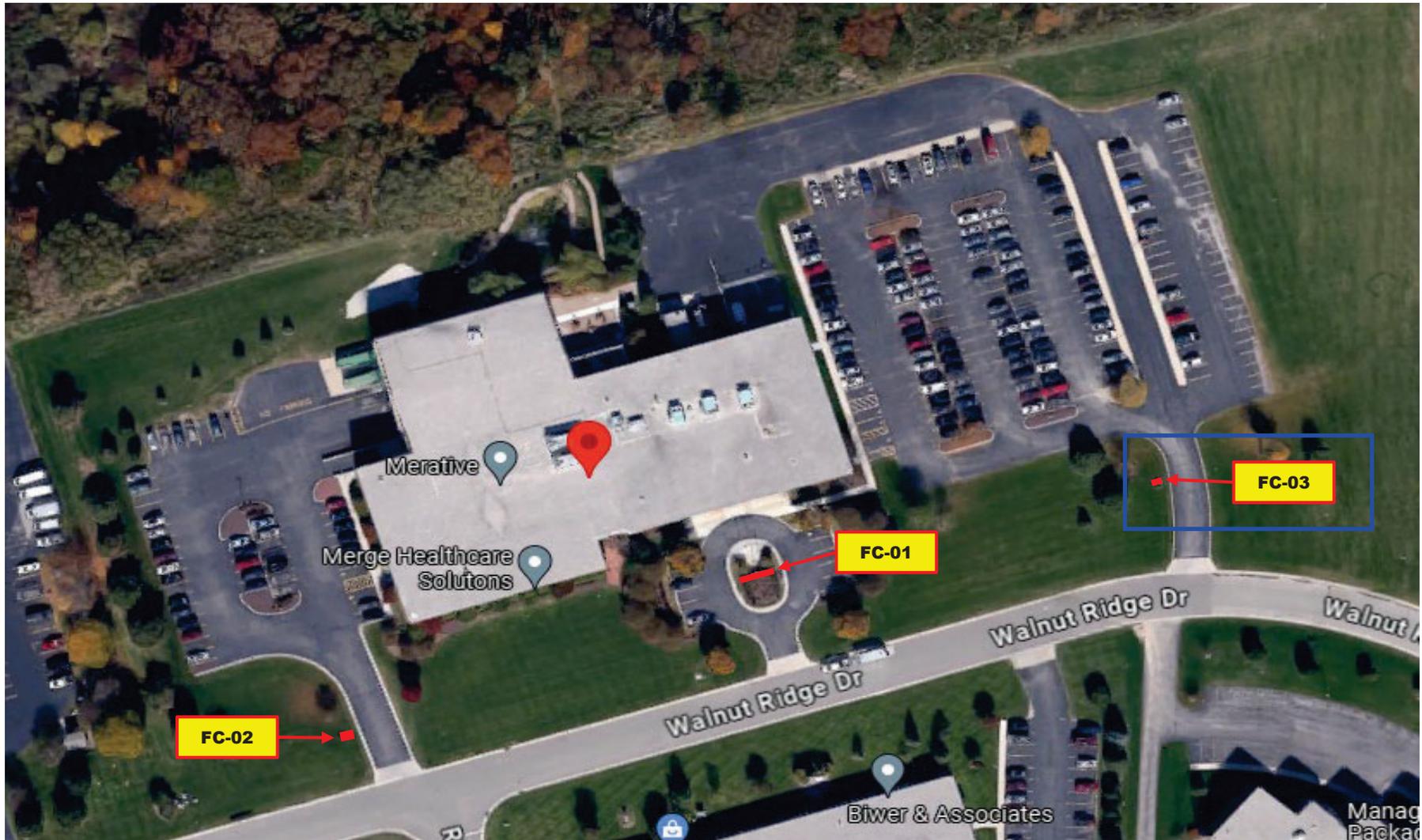
C01
 Design



**MERGE HEALTHCARE SOLUTIONS INC.
900 WALNUT RIDGE DRIVE
HARTLAND, WI 53029**



**POBLOCKI SIGN COMPANY
922 SOUTH 70TH STREET
MILWAUKEE, WI 53214
708-299-9026**



BARK RIVER JOINT VENTURE LLC
2560 LORD BALTIMORE DR
BALTIMORE, MD 21244-2677

DONALYN PROPERTIES LLP
W283N9004 SUNSET CT
HARTLAND, WI 53092-8413

ENVIRONMENTAL INVESTMENT
GROUP LLC
950 WALNUT RIDGE DR
HARTLAND, WI 53029

ICE AGE PARK AND TRAIL FOUNDATION,
INC
207 E BUFFALO ST STE 515
MILWAUKEE, WI 53202-5712

M5 INVESTMENTS LLC
W304S8266 OAK RIDGE DR
MUKWONAGO, WI 53149-8882

MERGE (WI) LLC
900 WALNUT RIDGE DR
C/O MERGE HEALTHCARE INC
HARTLAND, WI 53029-8347

PDC PARTNERS LLC
700 WALNUT RIDGE DR STE 120
HARTLAND, WI 53029-8892



**DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR ARCHITECTURAL BOARD**

Job Address 139 COTTONWOOD AVE				
Lot	Block	Subdivision	Key No. HAV	
Owner LUCAS EDGE		EMAIL LUCAS@MOSAIC-NEARL.COM	Phone 714-792-9329	
Address W271N8246 PARKVIEW		City TOWN OF HARTLAND	State WI	Zip 53029
Contractor	Phone	FAX	EMAIL	
Address		City	State	Zip

The Architectural Board meets on the **THIRD MONDAY** of the Month at 6:30 p.m. in the Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue in the Village of Hartland.

The DEADLINE for filing is **FIFTEEN WORKING DAYS PRIOR TO THE MEETING DATE** at 4:30 p.m. All of the following information must be received prior to the deadline in order to be placed on the agenda.

All applications for consideration by the Architectural Board are subject to the policies described in this document.

Commercial/Industrial/Multifamily:

- One (1) bound set of plans and application material and one (1) electronic copy of all submittals.
- Elevations must show all sides of the structure and state the building materials and colors. Additions must be shown with the existing building.

Signs:

- One (1) color rendering of the requested sign(s) and one (1) electronic copy of all submittals. Include colors and material type. Renderings are to be dimensioned and must show placement on building and height.
- Details (color picture) of all existing wall signs on the same building elevation. A photograph of the building with sign location shown is recommended.
- One (1) site plan with dimensions. Not required for wall signs or other signs attached to the building.
- One (1) set of lighting details. Include type, location, number and photometric plan.
- Submit Sign Permit Application

NOTE: Approval by the Architectural Board is not permission to begin construction; a building permit must first be obtained.

Date Applied: 3/4/24 Date of Meeting: _____ Item No. _____
Commercial Page 1 of 2

DEPARTMENT OF BUILDING INSPECTION
APPLICATION FOR SIGN PERMIT

PERMIT # _____

JOB LOCATION 139 COTTONWOOD AVE TAX KEY # _____
OWNER LUCAS ENGE PHONE 714-392-9329
ADDRESS W291NB246 PARKVIEW W CITY MERTON STATE WF ZIP 53029
CONTRACTOR _____ PHONE _____
ADDRESS _____ CITY _____ STATE _____ ZIP _____

SIGN TYPE: WALL PROJECTING AWNING, CANOPY GROUND
 PORTABLE/TRAINING REAL ESTATE PERM. REAL ESTATE TEMP.

WORDS AS THEY WILL APPEAR ON THE SIGN:

MOSAIC HEALTH PERSONAL TRAINING NUTRITION

OVERALL DIMENSIONS OF SIGN 30" X 35.8" COLOR OF BACKGROUND BLACK

SIZE OF LETTERS IN INCHES 1" - 2" COLOR OF LETTERS ORANGE, WHITE, GREEN

CONSTRUCTION MATERIALS OF SIGN BACKGROUND (i.e. WOOD, ALUM, ETC.)
FIBER BOARD & METAL FRAME

ILLUMINATED? YES NO INTERNALLY EXTERNALLY

SIGN PLANS MUST BE APPROVED BY ARCHITECTURAL BOARD PRIOR TO PERMIT BEING APPROVED (SEE ARCHITECTURAL BOARD APPLICATION)

ESTIMATED COST OF ABOVE SIGN \$ 0

TO THE BUILDING INSPECTOR: THE UNDERSIGNED HEREBY APPLIES FOR A PERMIT TO DO WORK HEREIN DESCRIBED ACCORDING TO THE PLANS AND SPECIFICATIONS FILED HERewith AND LOCATED AS SHOWN ON THIS APPLICATION. THE UNDERSIGNED AGREES THAT SUCH WORK WILL BE DONE IN ACCORDANCE WITH THE SAID DESCRIPTION, PLANS AND SPECIFICATIONS AND IN COMPLIANCE WITH ZONING ORDINANCE AND ALL OTHER ORDINANCES OF THE VILLAGE OF HARTLAND AND WITH ALL THE LAWS AND ORDERS OF THE STATE OF WISCONSIN APPLICABLE TO SAID PREMISES.

APPLICANT [Signature] DATE 02/29/2024

PLANS APPROVED: ARCHITECTURAL BOARD _____

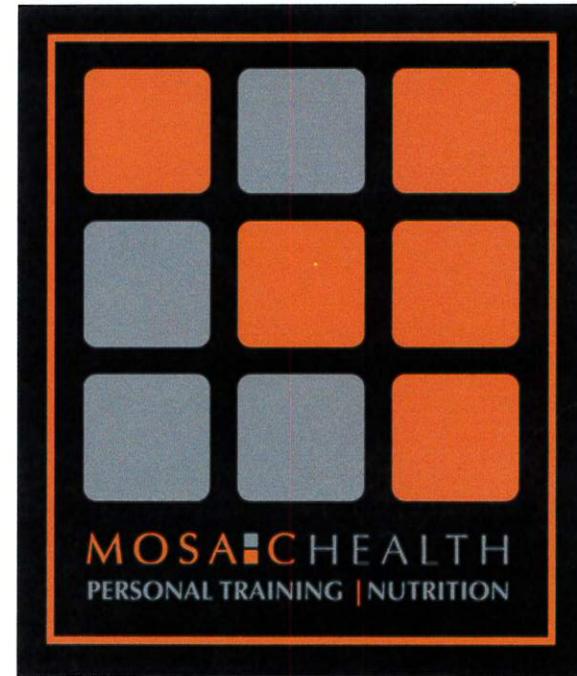
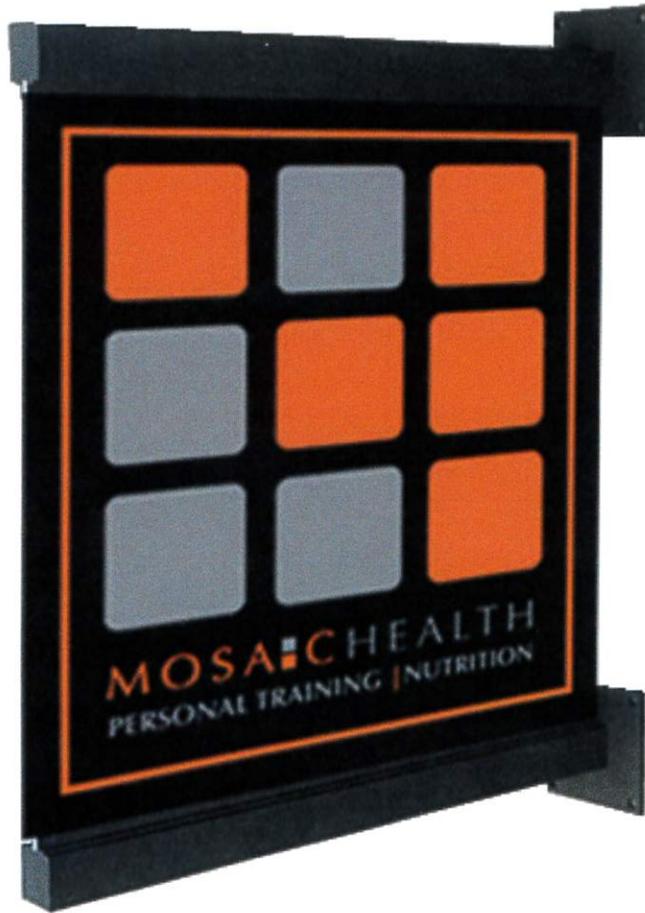
APPLICATION APPROVED: BUILDING INSPECTOR _____ DATE _____

CUSTOMER INFO:

COMPANY NAME/CONTACT:
ADDRESS:
PHONE#:

SIGNARAMA-PEWAUKEE REQUIRES THAT YOU REVIEW THE ATTACHED PROOF AND ADVISE WHETHER PROOF IS APPROVED FOR PRODUCTION. AN EMAIL REPLY IS REQUIRED TO START PRODUCTION.

PLEASE CHECK ALL SPELLING, PUNCTUATION, FONTS, CAPITALIZATION PHONE NUMBER, WEBSITE, COLOR & SIZE REQUIREMENTS.



30" x 35.8"

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Please check layout(artwork, spelling, dimensions) and return with signature. Production cannot begin until written approval is received. Additional charges will be applied for any changes that are needed after approval is received. Signarama is not responsible for any errors in spelling, layout, or dimensions that have been approved by the customer. The proof is for listed items only. Any changes or deletions by the customer not shown or charged herein will be billed separately.



W237 N2889 Woodgate Rd, Unit B
Pewaukee, WI 53072
P: 262-691-9994 | F: 262-691-9995

www.signarama-pewaukee.com • info@signarama-pewaukee.com

I HAVE REVIEWED THE ABOVE SPECIFICATIONS & HEREBY FULLY UNDERSTAND THE CONTENT OF WORK TO BE PERFORMED & APPROVE THIS PROJECT TO BEGIN:

CUSTOMER APPROVAL SIGNATURE: *[Signature]*

PRINT: _____ DATE: _____

50% DEPOSIT DUE AT TIME OF ORDER(full amount if under \$100),balance due upon time of completion.
I HAVE READ AND AGREE TO ALL TERMS. INITIAL JE

THIS ORIGINAL DESIGN AND ALL INFORMATION CONTAINED THEREIN IS THE PROPERTY OF SIGNARAMA-PEWAUKEE AND ITS USE IN ANYWAY OTHER THAN AS AUTHORIZED IS EXPRESSLY FORBIDDEN. SIGN AND ARTWORK REMAIN THE PROPERTY OF SIGNARAMA-PEWAUKEE

A receipt of the application for signage or other information for the applicant, the Village of Hartford requires a digital copy of the sign rendering and the building. Please be sure to send everything else. And please send to attend a meeting for approval. Thank!





128 COTTONWOOD LLC
W298N3324 S IMPERIAL DR
PEWAUKEE, WI 53072-3100

CARL & CHRISTINE ZEUTZIUS
N68W30836 CLUB CIR E
HARTLAND, WI 53029-9766

CHRISTOPHER HENNING
203 W CAPITOL DR
HARTLAND, WI 53029-2027

COTTONWOOD PROPERTIES LLC
PO BOX 102
HARTLAND, WI 53029-0102

EPPLER ENTERPRISES LLC
N51W35369 RIVER RD
OCONOMOWOC, WI 53066-3306

HJH 211 LLC
211 COTTONWOOD AVE
HARTLAND, WI 53029-2016

HL SALONS LLC
140 COTTONWOOD AVE
HARTLAND, WI 53029

MICHAEL K KRETSCHMER JR & SARA A
KRETSCHMER
141 W CAPITOL DR
HARTLAND, WI 53029-2026

PETCOFF INC
141A COTTONWOOD AVE
HARTLAND, WI 53029-2014

ROBERT J WACHOWIAK AND PILAR A
JOSEPH
151 W CAPITOL DR
HARTLAND, WI 53029-2026



#150 + #300 1/30/24 pd. 253361

PETITION FOR CONDITIONAL USE
[X] \$150 REVIEW FEE DUE AT TIME OF APPLICATION PLUS \$300 PROFESSIONAL FEE DEPOSIT

Property Owner: Dale Maas
Business Name: ib210 LLC
Business Owner: Jan Bennett
Address: 704 Rose Dr. Hartland WI
Contact Person: Jan Bennett
Phone: 27-200-5448
Key No. HAV
Email: albianbennett@gmail.com

The Plan Commission meets on the third Monday of the month at 6:30 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

State present use of property and basic information on the intended use:

Soccer training skills facility. Hours of operation Mon-Fri 5-9pm, Sat & Sun 9am-7pm. Soccer team training, skills + high level training camps. Age groups from 6-18.

Additional documents and materials must be submitted addressing the requirements described in Article IV of the Hartland Zoning Code regarding Conditional Uses.

All applications for consideration by the Plan Commission are subject to the policies described in this document.

Petitioner Signature: [Signature]
Print Name: Jan Bennett
Date: 2/2/24

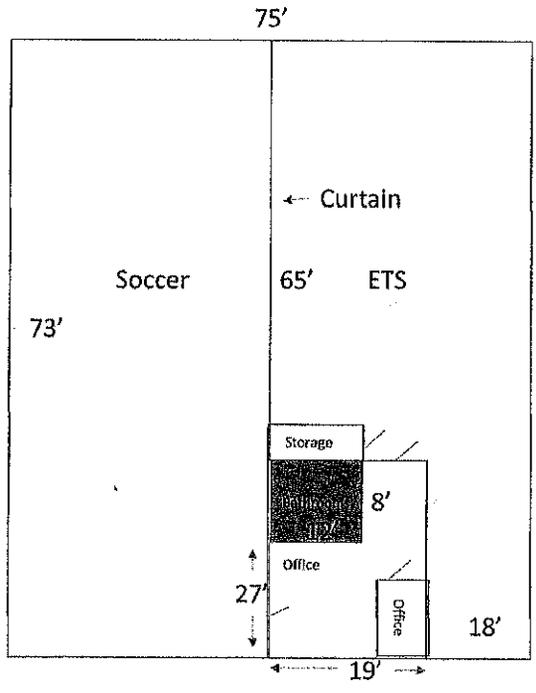
OFFICE USE ONLY:

Date Applied:
Date of Meeting:
Return Comments by:

Hours of operation: Monday-Friday 5pm-9pm. Saturday & Sunday 9am-7pm

Team training, skills training, and high-level training camps. Age groups will range from 6 years old to 18. During the weekdays there will be 30-40 kids and on the weekends 60-70 kids.

Thanks,
Ian Bennett





\$75 pd 1-15-24 #252440

ADMINISTRATION
210 COTTONWOOD AVENUE
HARTLAND, WI 53029
PHONE (262) 367-2714
FAX (262) 367-2430

Soccer ib26LLC

Permit Fee:	\$75
Refundable Occupancy Deposit: (Refundable Deposit Returned Upon Release by Building Inspector)	\$500
Total Due:	\$575
Date Paid:	_____
Receipt No.:	_____

VILLAGE OF HARTLAND

BUSINESS OCCUPANCY

PERMIT APPLICATION

Please Note that operation of business is not allowed until occupancy permit application has been approved.

- Allow approximately 5 working days for review.

After an occupancy permit application has been received and an occupancy inspection has been completed by the building inspection department, an occupancy letter will be sent to the applicant listing all violations. An occupancy permit will be issued when all violations have been corrected.

A conditional occupancy permit can be requested by the prospective occupant, if no life-safety violations exist as determined by the building inspection department.

If the conditional occupancy permit is issued, the applicant agrees to have all violations corrected within forty five (45) days. A reinspection will be scheduled after 45 days to check for compliance. If any violations exist, a penalty of \$25.00 per day will be assessed until all violations are corrected.

The \$500 Refundable Occupancy Deposit will be returned upon release by the Building Inspector.

VILLAGE OF HARTLAND
BUSINESS OCCUPANCY
PERMIT APPLICATION
PAGE 2

BUSINESS:

Name: ibole LLC
Address: 704 ROSE DR. Unit/Suite No. _____
Phone No: 317-200-5445 FAX No. _____

BUSINESS OWNER:

Name: TAN BENNETT
Address: 1636 E WISCONSIN AVE DEWAUWAT WISCONSIN
Day Phone: 317-200-5445 Evening Phone: SAME Emergency Phone: _____

BUILDING OWNER:

Name: Dale Maas
Address: 704 ROSE DR. HARTLAND
Day Phone: 914-412-8400 Evening Phone: SAME Emergency Phone: _____

2ND EMERGENCY CONTACT:

Name: Chad Stiernagle
Address: _____
Emergency Phone: 952-200-16468

CONTACT FOR FIRE DEPARTMENT TO MAKE ARRANGEMENT FOR INSPECTION:

Name: _____ Phone: _____

DETAILED DESCRIPTION OF BUSINESS OPERATION:

Soccer team training w/soccer skill training. Age groups range from 6-18 years old.

Hours and days of operation: Mon-Fri 5pm-9pm Sat+Sun 9am-7pm

Number of full and part time employees on site during each shift (count working owner as an employee): 2

Estimated max. total of customers/clients/visitors on site at one time: 20

Number of total off-street parking stalls provided on site: 12

Number of above parking stalls dedicated for use by this business: 2

Describe anticipated method and frequency of deliveries to/from the site, and location on site where loading/unloading/parking of shipping vehicle is to occur: NA

Describe any activities that may occur outside the building but still on-site such as dumpster, outside storage, equipment, accessory buildings, etc. (Please attach site plan showing these items): NA

Detailed description of any equipment, operation, device, or process that may emit noise, vibration, or odors from the site: NA

VILLAGE OF HARTLAND
BUSINESS OCCUPANCY
PERMIT APPLICATION

PAGE 3

The names and amounts of any noxious or hazardous substances or fumes that may be created, stored, or used on the site: NA

Describe or sketch area for storage of above substances and any other high fire hazard areas: NA

Fire extinguisher size, type, and quantity: _____

Is there a fire sprinkler system: yes

Is there an alarm system: yes

Heating type and location: yes

Describe or sketch gas shut off location: -

Describe or sketch electric shut off location: -

Describe or sketch fire sprinkler shut off location: -

Attach a sketch of the area of the building to be used for this business unless all of building is to be used. _____

Please note that operation of a business is not allowed until the occupancy permit application has been approved.

You may need to attach additional pages to this application.

If you have questions call Building Inspector at 262-367-4744.

complete applications will not be approved.

Applicant's

Signature: [Signature]

Date: 2/2/2024

FOR OFFICE USE ONLY

ZONING DEPARTMENT/BUILDING INSPECTION DEPARTMENT

Zoning Classification: _____

Zoning Approved: _____

By: _____

Application Approved: _____

Permit Number: _____

Notes/Conditions: _____

FIRE DEPARTMENT

Site Approved: _____

By: _____

Notes/Conditions: _____

The Hartland Police Department is updating our records for all the businesses in the Village of Hartland. Please provide the information below needed for emergency and after hours contacts for your business. Feel free to add any other pertinent information that would better assist us in dealing with your business needs.

HARTLAND POLICE DEPARTMENT BUSINESS/ KEY HOLDER UPDATE

BUSINESS NAME: 11626 LLC
ADDRESS: 704 ROSE DR. Hartland
PHONE: ~~202-887-1111~~ 317-200-5445

EMERGENCY AFTER HOURS KEY HOLDERS:

NAME: _____
ADDRESS: _____
PHONE: _____
CELL PHONE: _____

NAME: _____
ADDRESS: _____
PHONE: _____
CELL PHONE: _____

NAME: _____
ADDRESS: _____
PHONE: _____
CELL PHONE: _____

Please complete and return to the Hartland Police Department by mail:
210 Cottonwood Avenue
Hartland, WI 53029

Or by FAX: 262-369-2224

Thank you for your cooperation.

TAKODA INVESTMENTS LLC
532 DUCKHEAD RD
LAKE OZARK, MO 65049-5804

CENTRAL PROPERTY DEVELOPMENT
INC
614 S ASHLEY ST
ANN ARBOR, MI 48103-4908

CROSSROAD INVESTMENTS LLC
131 E WISCONSIN AVE
PEWAUKEE, WI 53072-3471

FREEUP STORAGE HARTLAND, LLC
AND KENT DAVIS
PO BOX 17120
GOLDEN, CO 80402-6019

JAG I LLC
1604 HIGHWAY 83
HARTLAND, WI 53029-8840

MRE PROPCO, LP
3 LAKES DR
NORTHFIELD, IL 60093-2753

NOBLE DEVELOPNER
W285N3340 CONSERVANCY DR C/O
DAN HLAVACHEK
PEWAUKEE, WI 53072

REVERE ELECTRIC SUPPLY CO
8807 187TH ST
MOKENA, IL 60448-7706

STAG INDUSTRIAL HOLDINGS LLC
1 FEDERAL ST FL 23
BOSTON, MA 02110-2031



Pd 2/13/24
Receipt 25373

PETITION FOR CONDITIONAL USE
■ \$150 REVIEW FEE DUE AT TIME OF APPLICATION
PLUS \$300 PROFESSIONAL FEE DEPOSIT

Property Owner Sarwan Singh	
Business Name SD HARTLAND INC	
Business Owner Sarwan Singh	
Address 1109 1st Center Ave, Brodhead, WI 53520	
Contact Person Manvir Singh	Phone 847-650-0104
Key No. HAV	Email ruhi@pdaloan.com

The Plan Commission meets on the third Monday of the month at 7:00 PM in the Village Board Room of the Hartland Municipal Building located at 210 Cottonwood Avenue, Hartland.

The deadline for filing is a minimum of fifteen (15) working days before the meeting.

All of the requested information must be received prior to the deadline in order to be placed on the agenda. Village Plan Review Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.

State present use of property and basic information on the intended use:

We would like to operate gas station with convenience store.

Additional documents and materials must be submitted addressing the requirements described in Article IV of the Hartland Zoning Code regarding Conditional Uses.

All applications for consideration by the Plan Commission are subject to the policies described in this document.

Petitioner Signature	
Print Name Sarwan Singh	Date 02/13/2024

OFFICE USE ONLY:

Date Applied:	Date of Meeting:	Return Comments by:
---------------	------------------	---------------------

Hartland Plan Commission
Application Review Policies

All applicants and applications are subject to the following policies in order to be considered by the Plan Commission.

1. The deadline for filing any application is a minimum of fifteen (15) working days before the meeting
2. All applicants are encouraged to communicate with or meet with either the Building and Zoning Official or the Village Administrator prior to submission of an application.
3. All requested or required information, including the application and appropriate fees, must be received prior to the deadline in order to be placed on the agenda. Village Staff has been directed to delay placement on the Plan Commission Agenda based on incomplete submittals.
4. Four (4) sets of bound site plans or application materials and one (1) electronic copy (PDF) of all application materials must be submitted by the deadline.
5. Applications that include site plans must depict the following existing and proposed information plus other information as appropriate or as requested:
 - a. Complete dimensions (lot, building, setbacks, parking, drives, etc.)
 - b. Scale and north arrow
 - c. All structures (include building elevations and height)
 - d. Drainage and grades (include design calculations for drainage)
 - e. Storm Water Management Plan
 - f. Utilities and easements (sewer, water, storm etc.)
 - g. Calculation of lot coverage
 - h. Parking stalls (stalls to be minimum 180 s.f., driving lanes minimum 24 ft. wide and 30 ft. maximum at street right-of-way, asphalt to be minimum 3 ft. from lot lines)
 - i. Grading and erosion control
 - j. Landscaping, including a Tree Protection Plan
 - k. Exterior lighting details
 - l. Exterior HVAC equipment location
 - m. Dumpster location (screening required)
 - n. Street right-of-way
 - o. Miscellaneous items including, but not limited to, 100 year floodplain, wetland boundary, environmental corridor
6. Additional information may be requested by the Plan Commission or Staff.
7. The Applicant must complete and submit the required Professional Services Reimbursement Form along with any required deposit at the time of application.
8. The Applicant or a representative of Applicant able to make representations on behalf of the Applicant shall attend the meeting at which the matter will be discussed. Failure to have representation will result in tabling of the request to the next meeting.

Permit Fee:	\$75
Refundable Occupancy Deposit: (Refundable Deposit Returned Upon Release by Building Inspector)	\$500
Total Due:	\$575
Date Paid:	2-13-24
Receipt No.:	253131

VILLAGE OF HARTLAND
BUSINESS OCCUPANCY
PERMIT APPLICATION

- Please Note that operation of business is not allowed until occupancy permit application has been approved.
- Allow approximately 5 working days for review.

After an occupancy permit application has been received and an occupancy inspection has been completed by the building inspection department, an occupancy letter will be sent to the applicant listing all violations. An occupancy permit will be issued when all violations have been corrected.

A conditional occupancy permit can be requested by the prospective occupant, if no life-safety violations exist as determined by the building inspection department.

If the conditional occupancy permit is issued, the applicant agrees to have all violations corrected within forty five (45) days. A reinspection will be scheduled after 45 days to check for compliance. If any violations exist, a penalty of \$25.00 per day will be assessed until all violations are corrected.

The \$500 Refundable Occupancy Deposit will be returned upon release by the Building Inspector.

VILLAGE OF HARTLAND
BUSINESS OCCUPANCY
PERMIT APPLICATION
PAGE 2

BUSINESS: SD HARTLAND INC
Name: _____
Address: 805 Cardinal Lane, Hartland, WI 53029 Unit/Suite No. _____
Phone No: 574-904-2221 FAX No. _____

BUSINESS OWNER: Sarwan Singh
Name: _____
Address: 1109 1st Center Ave, Brodhead, WI 53520
Day Phone: 574-532-7858 Evening Phone: _____ Emergency Phone: _____

BUILDING OWNER:
Name: WRE One LLC
Address: 1109 1st Center Ave, Brodhead, WI 53520
Day Phone: 574-904-2221 Evening Phone: _____ Emergency Phone: _____

2ND EMERGENCY CONTACT:
Name: Manvir Singh
Address: 1109 1st Center Ave, Brodhead, WI 53520
Emergency Phone: 574-904-2221

CONTACT FOR FIRE DEPARTMENT TO MAKE ARRANGEMENT FOR INSPECTION:
Name: Sarwan Singh Phone: 574-904-2221

DETAILED DESCRIPTION OF BUSINESS OPERATION: Gas station with convenience store and Car Wash

Hours and days of operation: 6:00 AM - 12:00 AM

Number of full and part time employees on site during each shift (count working owner as an employee): 2 full time and 1 part time

Estimated max. total of customers/clients/visitors on site at one time: 5

Number of total off-street parking stalls provided on site: 19

Number of above parking stalls dedicated for use by this business: 19

Describe anticipated method and frequency of deliveries to/from the site, and location on site where loading/unloading/parking of shipping vehicle is to occur: Parking in the back of the store
Loading/unloading - Front and back door entrance

Describe any activities that may occur outside the building but still on-site such as dumpster, outside storage, equipment, accessory buildings, etc. (Please attach site plan showing these items): Dumpster, car Wash, Air Machine, and car Vacuum cleaner and Gas Pump

Detailed description of any equipment, operation, device, or process that may emit noise, vibration, or odors from the site: Vacuum cleaner

BUSINESS OCCUPANCY
PERMIT APPLICATION
PAGE 3

The names and amounts of any noxious or hazardous substances or fumes that may be created, stored, or used on the site: N/A

Describe or sketch area for storage of above substances and any other high fire hazard areas: _____

Fire extinguisher size, type, and quantity: AMEREX - 1 OUTSIDE AND 2 INSIDE 16LB EACH

Is there a fire sprinkler system: NO

Is there an alarm system: YES

Heating type and location: Natural Gas and Location - On the Roof

Describe or sketch gas shut off location: Behind the cash register on the wall and one every pump and outside of building

Describe or sketch electric shut off location: Bank Storage - South side of building

Describe or sketch fire sprinkler shut off location: _____

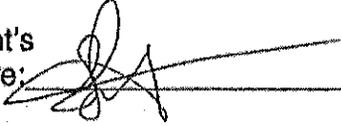
Attach a sketch of the area of the building to be used for this business unless all of building is to be used. _____

Please note that operation of a business is not allowed until the occupancy permit application has been approved.

You may need to attach additional pages to this application.

If you have questions call Building Inspector at 262-367-4744.

Incomplete applications will not be approved.

Applicant's Signature:  Date: 02/13/2024

FOR OFFICE USE ONLY

ZONING DEPARTMENT/BUILDING INSPECTION DEPARTMENT	
Zoning Classification:	
Zoning Approved:	By: _____
Application Approved:	
Permit Number:	
Notes/Conditions:	

FIRE DEPARTMENT	
Site Approved:	By: _____
Notes/Conditions:	

The Hartland Police Department is updating our records for all the businesses in the Village of Hartland. Please provide the information below needed for emergency and after hours contacts for your business. Feel free to add any other pertinent information that would better assist us in dealing with your business needs.

HARTLAND POLICE DEPARTMENT BUSINESS/KEY HOLDER UPDATE

BUSINESS NAME: SD HARTLAND INC
ADDRESS: 805 Cardinal Lane, Hartland, WI 53029
PHONE: 574-904-2221

EMERGENCY AFTER HOURS KEY HOLDERS:

NAME: Sarwan Singh
ADDRESS: 1109 1st Center Ave, Brodhead, WI 53520
PHONE:
CELL PHONE: 574-532-7858

NAME: Manvir Singh
ADDRESS: 1109 1st Center Ave, Brodhead, WI 53520
PHONE:
CELL PHONE: 574-904-2221

NAME:
ADDRESS:
PHONE:
CELL PHONE:

Please complete and return to the Hartland Police Department by mail:
210 Cottonwood Avenue
Hartland, WI 53029

Or by FAX: 262-369-2224

Thank you for your cooperation.

BANK FIVE NINE
155 W WISCONSIN AVE C/O
ACCOUNTS PAYABLE
OCONOMOWOC, WI 53066

CBS PROPERTIES LLC
805 CARDINAL LN
HARTLAND, WI 53029-2319

G HOWE LAKE COUNTRY LLC
W305N1587 SILVERWOOD LN
DELAFIELD, WI 53018

LANDMARK CREDIT UNION
PO BOX 510870
NEW BERLIN, WI 53151-0870

MSI GENERAL CORP
PO BOX 7
OCONOMOWOC, WI 53066-0007

SCHAEFER PROPERTIES LLP
1615 NOTRE DAME BLVD
ELM GROVE, WI 53122-1754

W225N3131 DUPLAINVILLE ROAD,
LLC
5715 STATE ROAD 83
HARTLAND, WI 53029-9702

WGS & LTG HOLDINGS LLC
725 INDUSTRIAL CT
HARTLAND, WI 53029-2312



PROJECT NARRATIVE

SENIOR LIVING COMMUNITY

Village of Hartland, WI

Conceptual Meeting Review:

Village Board	March 11, 2024
Plan Commission	March 18, 2024

SITE OVERVIEW AND BACKGROUND

The subject site is located south of Campus Drive, just east of its intersection with Highway 83. The site is currently owned by Lutheran High School Association of Greater Milwaukee (“LHSA”) and includes a total of approximately 8.88-acres that remains from the original acquisition of land from the Wisconsin DOT for Lake Country Lutheran High School (“LCL”). It is anticipated approximately 5-acres +/- (building + parking) will be utilized for the senior living development and be rezoned as “RM-1” Conditional Use Permit “Housing for the Elderly”. The balance of the site is anticipated to be used for a TBD future educational and/or recreational uses as required.

As part of the broader vision for the land surrounding LCL, LHSA and its stakeholder have always desired to include a mix of housing, educational, and other uses that serve a range of ages. Including senior living within that mix will create opportunities for learning, camaraderie, and volunteering – promoting purposeful connections between students and seniors.

A portion of the land is limited by deed restriction such that only educational and recreational uses may be constructed there. The balance of the site may be used for any purpose, and so LHSA intends to utilize the land for the construction of a senior living community.

The site is in a desirable area of Hartland for senior living due to its proximity to LCL, shopping, recreation, and Downtown Hartland. Lake Country communities are, in general,

attractive for senior living due to the growth of single-family housing for families and the corresponding desire of seniors to live closer to their adult children and grandchildren.

PROJECT OVERVIEW

This project is a thoughtful response to senior living market demand. Senior housing is not a “one size fits all” in that seniors have different demands and needs. The senior housing market includes different types of housing, including apartment models for those that want a more active lifestyle, and care-driven models for those that want and need more services.

The project’s overall design goal is to meet the market’s demand for different levels of care within senior housing communities. The most attractive developments include components of more than one part of the senior living “continuum” and provide flexibility into the future as needs and demands change. As a response to that demand, Matter Development and Three Leaf Partners propose to construct a senior living development, principally featuring a 120-unit building containing 100 senior living apartments (30-40 of which may include assisted living) and a secure 20-unit memory care. As residents’ needs change over time, the building and operation is designed to provide additional supportive services to them in their apartment.

PLANNED IMPROVEMENTS

As seen in the attached site plan, the proposed project will include a four-story building with underground parking on a total approximately 5.1-acres (building + parking).

- 100 independent (“IL”) and assisted living (“AL”) apartments on floors 1-4, along with central common area amenities.
- 20 memory care (“MC”) units with common area and supportive services. The secure memory care is shown on the lower-level with a courtyard.
- Underground parking for residents and other surface parking.
- Walking paths that connect to the larger trail network within and around LCL.

The transaction structure and manner of land division will be decided as the project progresses within the approval process in conjunction with the Village of Hartland, but the larger parcel on which the senior living community is anticipated to be subdivided into two (2) separate legal parcels and an outlot:

1. Parcel 1 will include the senior living community.
2. Parcel 2 will be reserved for LCL to develop future educational and recreational purposes such as offices or athletic facilities.
3. The outlot parcel will include surface parking stalls that may be shared with Parcels 1 and 2.

It is anticipated that cross-access easements and other use agreements may be necessary to facilitate the development of the site for financing.

PLAN OF OPERATION

As an overall goal to provide the best range of options for seniors, it is ideal to provide components of each part of the senior living continuum on the site. The project's operation will be run by Koru Health, a local company (and affiliate of Matter Development) that has extensive experience staffing and running senior living communities.

- The IL program will provide a residential rental option for seniors who desire to eliminate the maintenance obligations of homeownership and live in a senior community with the opportunity for lifestyle programming and additional supportive services in the future.
- AL services will be provided to residents on an as-needed basis through a Residential Care Apartment Complex ("RCAC") certification – staffed 24 hours per day.
- The MC program will provide a secure and supportive environment for residents with dementia, Alzheimer's Disease, and other memory-impairments. The MC will be staffed 24-hours per day and will be licensed as a community-based residential facility ("CBRF").

The building will have a comprehensive staffing plan to meet the personal needs of residents and the building's administrative, maintenance, and food service programming. The staffing plan will include 24-hour staffing, including an on-site executive director, as well as staff positions for: administrative, resident care and nursing staff, concierge, food & beverage, housekeeping, maintenance, activities/resident relations, and sales.

PARKING & DELIVERIES

Parking demand is lower for senior living when compared to other forms of development. Parking requirements on the site will be met with a combination of surface and underground parking. It is anticipated that IL residents (and some limited number of AL residents) will use the underground parking, staff and visitors will park in surface stalls, and memory care residents will not have cars.



MATTER
DEVELOPMENT



Concept Meeting

Proposed Senior Community Development

Hartland, WI

March 2024



About Three Leaf Partners

- Three Leaf Partners is a Limited Liability Company (LLC). Headquartered in Milwaukee, Wisconsin, Three Leaf Partners is led by its two Principals, Pat Connaughton, guard for the Milwaukee Bucks NBA Team, and Matt Burow, CEO & Chairman of Catalyst Construction.
- Three Leaf has been in existence since Pat's rookie year in the NBA (2016), and Catalyst Construction was founded by Matt in 2004. These two visionary leaders joined forces in 2022, combining many years of construction and development experience. Currently, Three Leaf Partners has 19 employees.
- TLP is on a mission to take the game of real estate development in a new direction. Our team of like-minded professionals has developed a unique three-fold business model that provides a platform for professional athletes, business leaders, and the community to connect through real estate. From development to property management to investments and so much more, our suite of capabilities combined with the network of strong, productive business relationships we foster give us a distinct competitive advantage and exclusive access to off-market opportunities.

“IMPACT THROUGH REAL ESTATE”



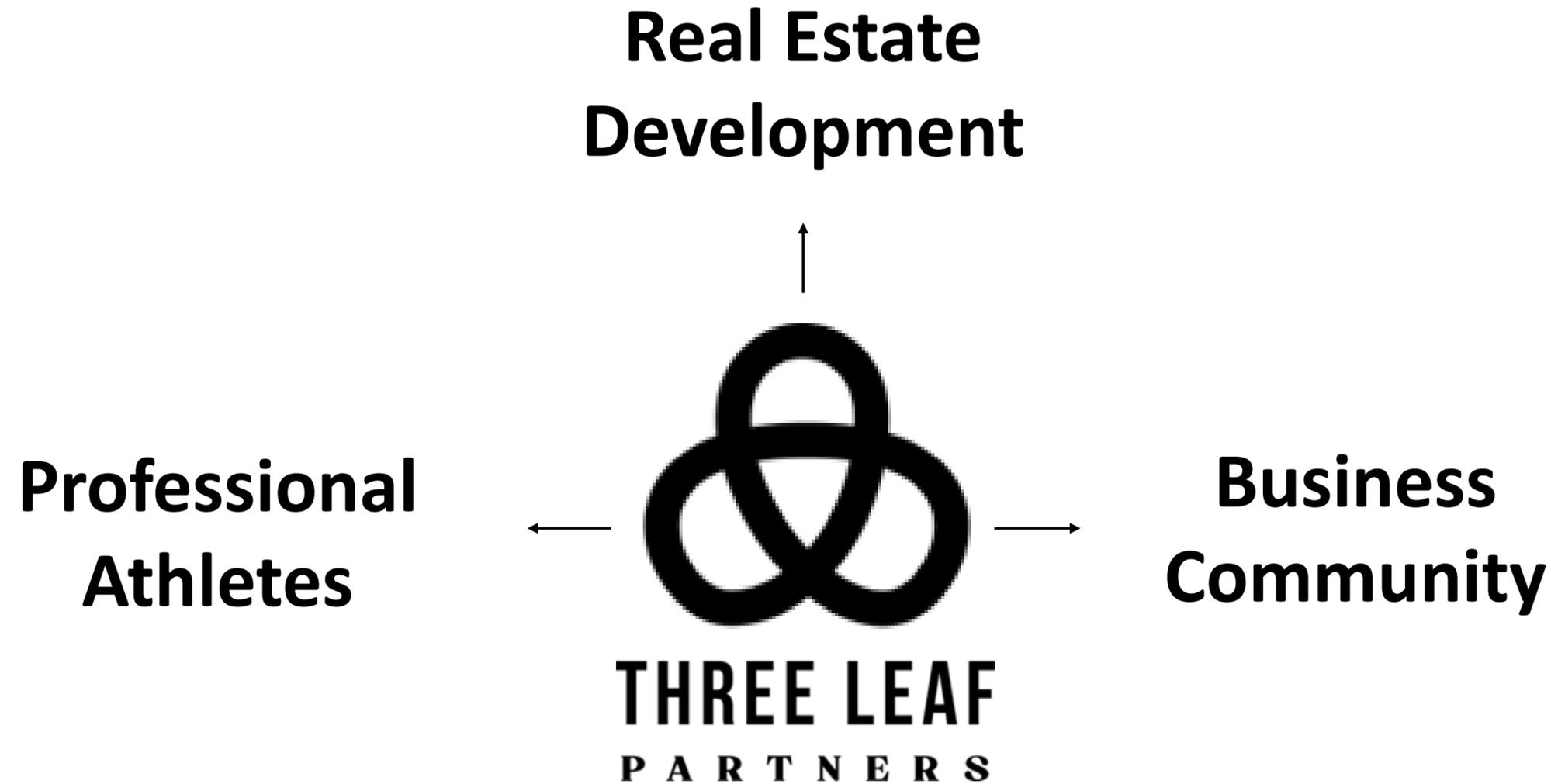
[Website](http://www.threeleafdevelopment.com)

www.threeleafdevelopment.com



Mission - Purpose - Passion

- Three Leaf Partners exists to make a lasting impact on the communities, higher education / universities, and people we serve through real estate. The outcomes we work to create far exceed the physical structures we build. Our goal is to be thoughtful & driven, working to bring your mission and vision to life in a way that creates generational impact to all involved.
- By pairing professional athletes, business executives and community partners, the Three Leaf Partners impact brings creative and determined people together with a common goal. The result is a win-win for all those involved.





Past & Current Partners



Market Rate Housing



Student Housing & Market Rate



Mixed Use (planning)



Mixed Use



Student Housing & Market Rate



Mixed Use



Market Rate Housing



EST. UNIVERSITY 1960

Student Housing & Athletics

About Matter Development

- Matter Development believes in the value of collaboration. Our experience shows that the best projects are those that are informed by reasonable and constructive conversation with all stakeholders in the project, which has been a hallmark of our developments.
- Aaron Matter is the Founder & Managing Director of Wauwatosa, WI based Matter Development. Aaron founded Matter Development in 2017, leveraging many years of developing and operating senior housing with regional senior housing groups Vi Living and Capri Senior Communities.
- Matter Development was founded to develop purposeful, lifestyle-forward, highly connected, and active housing with inspired design that responds to the demand for an intersection of lifestyle, price, and flexibility in senior living services. When it comes to senior living, there is not a “one size fits all” approach. Instead, we build for the lifestyle and demands of Leading Edge Boomers who have much different expectations than senior living in the past.
- Matter Development, together with its closely held senior living operations partner Koru Health, is an integrated developer, owner, and operator of 12 senior living communities throughout SE Wisconsin and Minnesota.



MATTER
DEVELOPMENT

[Website](http://www.mattersenior.com)

www.mattersenior.com



About Koru Health

- The Koru, represents the fern in its youngest stage of life, symbolizing new life in nature, positive growth and change, stability and strength, as well as peace and tranquility. At Koru Health we have a strong belief that senior health and lifestyle should be met with the same growth, strength, and peace as any other period in life.
- With over 25 years of experience in the senior living and healthcare industry, Koru Health's leadership (Andy Lange & Aaron Matter) is committed to providing exceptional housing and lifestyle options for older adults in Wisconsin. With strong industry alliances as well as partnerships and expertise in areas of operation, development, and management services, Koru Health is a trusted resource for the Midwestern communities we serve.
- Koru Health and Matter Development are closely held companies that work together to develop, acquire, and operate senior living communities throughout their life-cycle. Koru is an experienced senior living operator with **over 1,000 units** of senior living under management. Koru **employs nearly 500 people** in the operation of these communities

“Our efforts are focused on providing a welcoming environment that one can call home while offering quality service that makes a positive impact on the lives of our residents and employees.”

KORU HEALTH

[Website](http://www.koruliving.org)

www.koruliving.org



About Lake Country Lutheran



- Lake Country Lutheran High School is a premier Christian school dedicated to sharing Jesus and developing future leaders by providing relevant, rigorous academics and life preparation from a Christian worldview. We are dedicated to nurturing every facet of a young person's life.
- Our mission statement to Share Jesus, Shape Lives, and Develop Leaders is the precise reason why Lake Country Lutheran High School is such a special place. Our Christian beliefs compel us to integrate the faith in all aspects of life. We lead by serving, modeling ourselves after Jesus Christ. Our caring is marked by the presence of compassion, integrity, collaboration, and accountability. Our commitment to the success of all students calls us to provide programs and instruction dynamic enough to meet the demands of the future



Website

www.lakecountryhs.org

- Established 1999 | Hartland 2009
- 350 Students
- Average Class Size 23 Students
- 98% Student Retention Rate
- 60% Staff with Advanced Degrees
- 100% Committed to Serving Students, Families, & Community



Senior Community Development

Concept Summary

Development: Continuum of Care Senior Living Community

Size: 120 Total Units:
Independent Living (IL) 60-70 Units +/-
Assisted Living (AL) 30-40 Units +/-
Memory Care (MC) 20 Units +/-

Location: Campus Drive, Hartland, WI

Construction: 4-stories over Underground Parking + 1-story area

Zoning: RM-1 – CUP “Housing for the elderly”

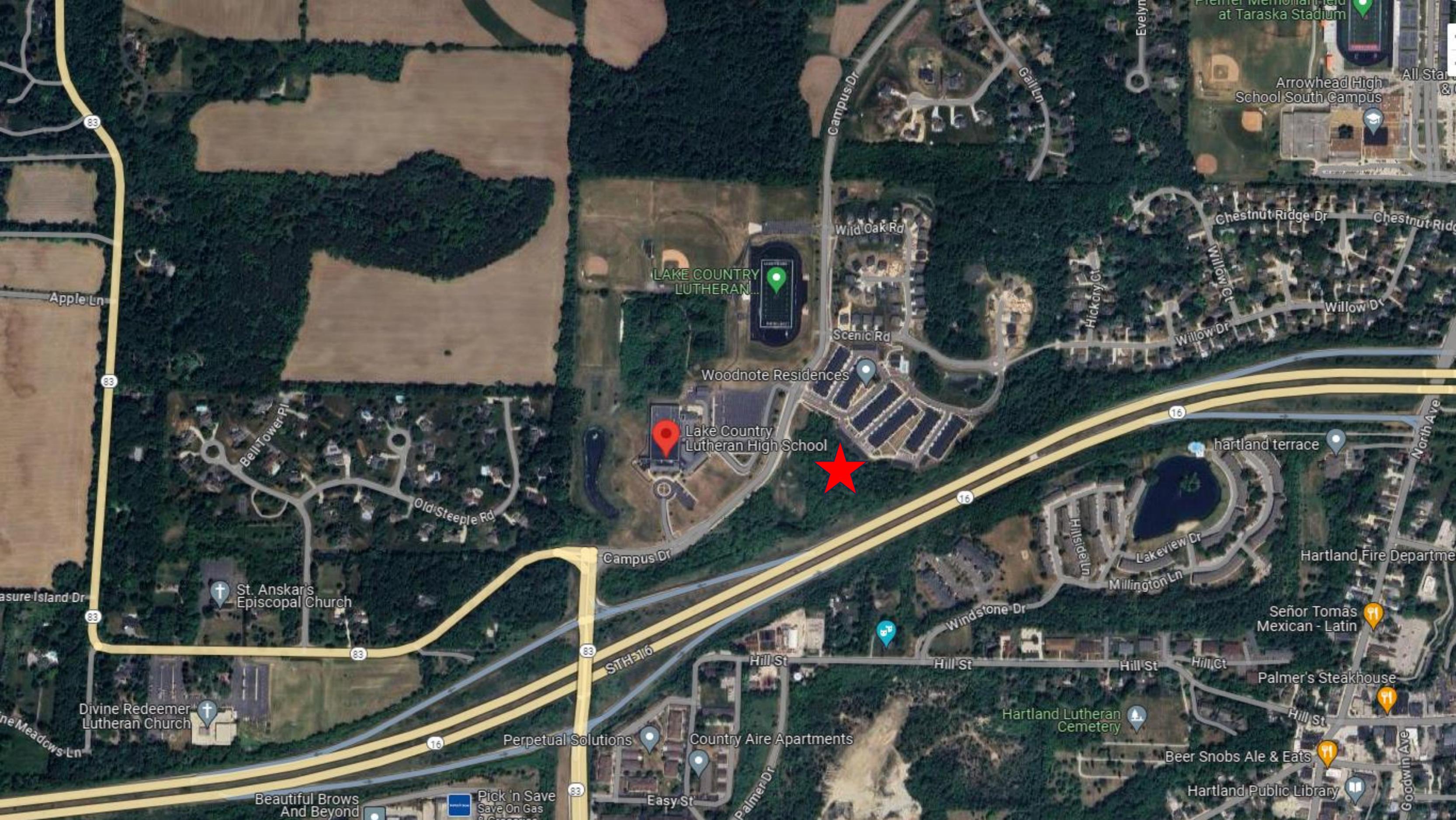
Objectives / Amenities:

Continuum of Care	Collaboration	Walking Trails
Parking	Meals	Community
Entertainment	Neighbor	Security

Development Team:

1. Developers – Three Leaf Partners and Matter Development
2. Partner – LCL
3. Operator – Koru Health

All local companies that have successfully partnered together on multiple senior developments over many years.



LAKE COUNTRY LUTHERAN...

Lake Country Lutheran High School

Woodnote Residences

St. Anskar's Episcopal Church

Divine Redeemer Lutheran Church

Beautiful Brows And Beyond

Pick 'n Save Save On Gas

Easy St

Country Aire Apartments

Perpetual Solutions

Hartland Lutheran Cemetery

Hartland Public Library

Beer Snobs Ale & Eats

Palmer's Steakhouse

Señor Tomás Mexican - Latin

Hartland Fire Department

hartland terrace

Arrowhead High School South Campus

All Star &

Chestnut Ridge Dr

Chestnut Ridge

Willow Ct

Willow Dr

Wild Oak Rd

Scenic Rd

Hickory Ct

Campus Dr

Gail Ln

Evelyn

Piemont Memorial Field at Taraska Stadium

Apple Ln

Bell Tower Pl

Old Steeple Rd

Campus Dr

Hillside Ln

Lakeview Dr

Millington Ln

Windstone Dr

Hill St

Hill St

Hill St

Hill Ct

Hill St

Palmer Dr

Goodwin Ave

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STHS 116

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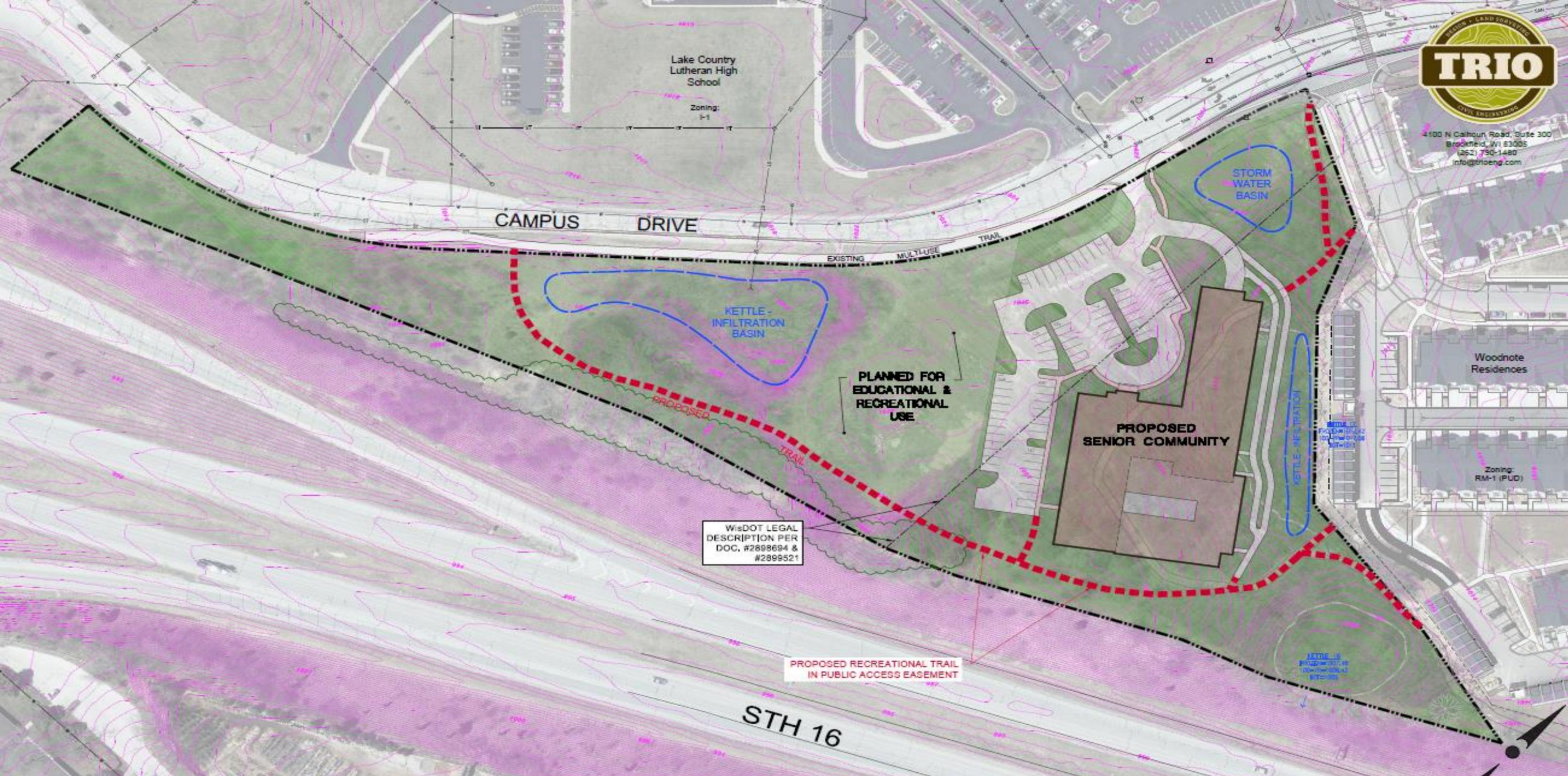
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16

STHS 116



4100 N Calhoun Road, Suite 300
Brookfield, WI 53005
(262) 790-1480
info@trioeng.com



WisDOT LEGAL DESCRIPTION PER DOC. #2898694 & #2899521

PROPOSED RECREATIONAL TRAIL IN PUBLIC ACCESS EASEMENT

PROPOSED SITE PLAN

Lake Country Lutheran Lot 2

Campus Drive, Village of Hartland Wisconsin

DEVELOPMENT SUMMARY	
Lot 2 of CSM NO. 12091	
- Total Area:	386,783 sf (8.88 acres)
- East of DOT legal =	3.76 acres
- West of DOT legal =	5.12 acres
- Existing Zoning:	I-1 "Institutional"
- PROPOSED ZONING:	RM-1
(for LCL Senior)	

PROPOSED ZONING: RM-1 *	
- Proposed Use: Elderly Housing	Density = 22 units/net acre
- I-1 Setbacks:	
- Rear Yard =	40'
- Side Yard =	15' min,
- 35' total for two side yards	
- Street Yard =	30'
- STH 16 Structure Setback =	50'
- Requested Height =	45' max

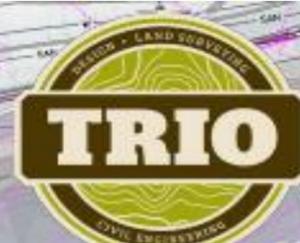


PROPERTY OWNER
LUTHERAN HIGH SCHOOL ASSOCIATION OF GREATER MILWAUKEE
10427 W. LINCOLN AVENUE, SUITE 1300
WEST ALLIS, WI 53227

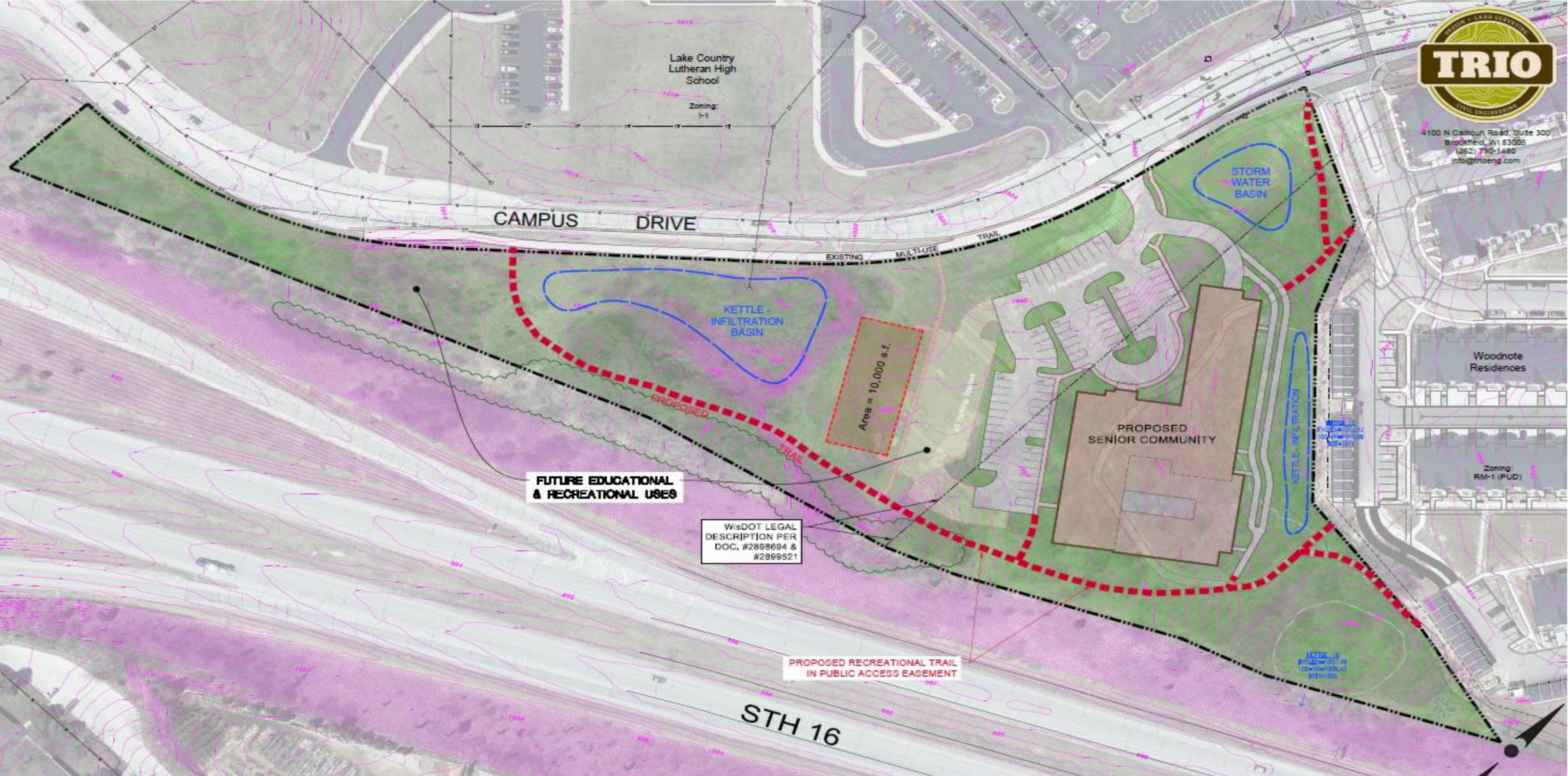


Scale: 1" = 50' (22"X34")
Scale: 1" = 100' (11"X17")

March 6, 2024



4100 N Calhoun Road, Suite 300
Brookfield, WI 53005
(262) 790-1480
info@trioeng.com



FUTURE EDUCATIONAL & RECREATIONAL USES

WisDOT LEGAL DESCRIPTION PER DOC. #2898694 & #2899521

Area ≈ 10,000 s.f.

PROPOSED RECREATIONAL TRAIL IN PUBLIC ACCESS EASEMENT

MASTER SITE PLAN

Lake Country Lutheran Lot 2

Campus Drive, Village of Hartland Wisconsin

DEVELOPMENT SUMMARY	
Lot 2 of CSM NO. 12091	
- Total Area:	386,783 sf (8.88 acres)
- East of DOT legal =	3.76 acres
- West of DOT legal =	5.12 acres
- Existing Zoning:	I-1 "Institutional"
- PROPOSED ZONING:	RM-1
(for LCL Senior)	

PROPOSED ZONING: RM-1*	
- Proposed Use: Elderly Housing	Density = 22 units/net acre
- I-1 Setbacks:	
- Rear Yard =	40'
- Side Yard =	15' min,
35' total for two side yards	
- Street Yard =	30'
- STH 16 Structure Setback =	50'
- Requested Height =	45' max



PROPERTY OWNER
LUTHERAN HIGH SCHOOL ASSOCIATION
OF GREATER MILWAUKEE
10427 W. LINCOLN AVENUE, SUITE 1300
WEST ALLIS, WI 53227

Scale: 1" = 50' (22"x34")

Scale: 1" = 100' (11"x17")

March 6, 2024



MATTER
DEVELOPMENT

OCONOMOWOC
EVINSM
WISCONSIN

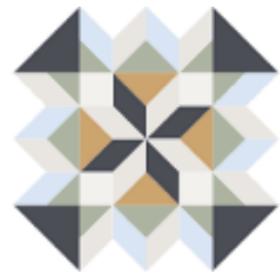


- Oconomowoc, WI
- Fall 2020
- 83 Beds
- Care:
 - Memory Care
 - Assisted Living
 - Independent Living





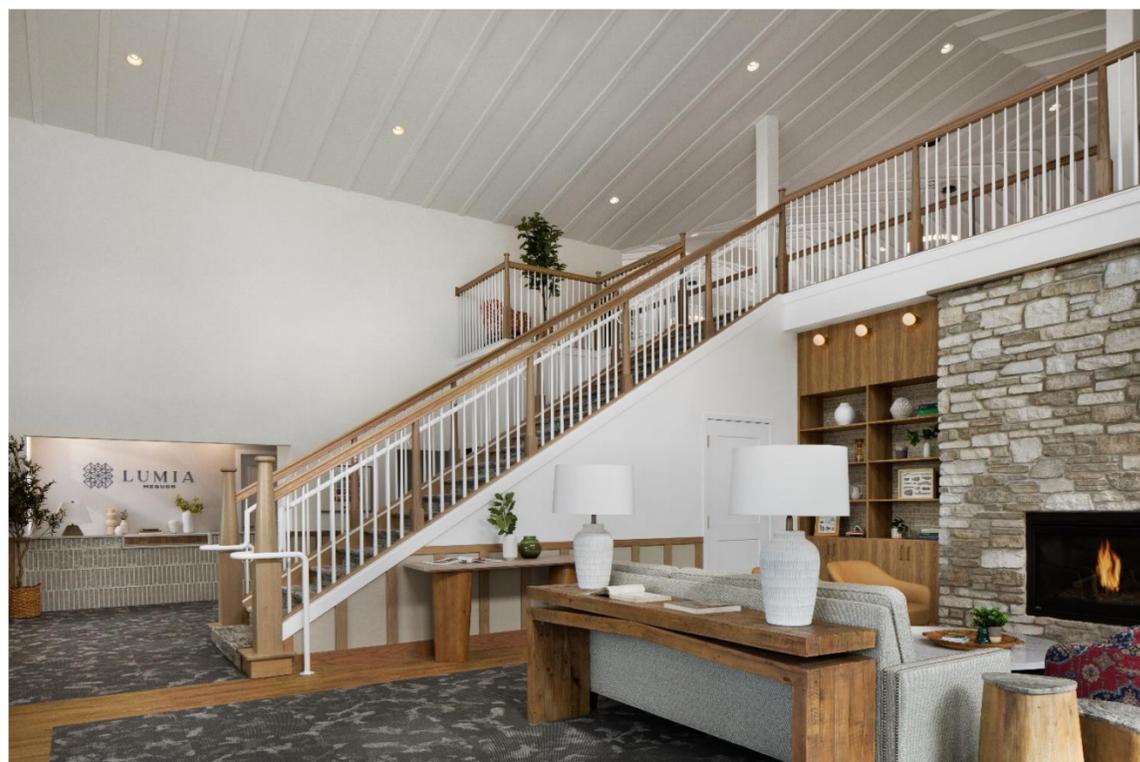
MATTER
DEVELOPMENT



LUMIA
MEQUON



- Mequon, WI
- Summer 2023
- 80 Beds
- Care:
 - Memory Care
 - Assisted Living
 - High Acuity



Contact Us

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